



**BRIDGEVIEW
PLANNED DEVELOPMENT NO. 67
BASE ZONING DISTRICT: MF-3 MULTI-FAMILY
ORDINANCE NO. 24-03-01-10
(ADOPTED 3-7-2024)**

AMENDING:

- **ORDINANCE NO. 23-06-15-21 (ADOPTED 6-15-23)**

AMENDED BY:

- **PDA23-0008: MINOR PD AMENDMENT FOR SITE DESIGN CHANGES AND UPDATES TO DEVELOPMENT STANDARDS (APPROVED BY STAFF 10-1-2024)**

**CITY OF CORINTH, TEXAS
ORDINANCE NO. 24-03-07-10**

**BRIDGEVIEW (FORMERLY ALBUM CORINTH) PLANNED
DEVELOPMENT DISTRICT #67**

AN ORDINANCE OF THE CITY OF CORINTH, TEXAS, AMENDING THE CITY'S ZONING ORDINANCE AND THE "OFFICIAL ZONING DISTRICT MAP OF THE CITY OF CORINTH, TEXAS," EACH BEING A PART OF THE UNIFIED DEVELOPMENT CODE OF THE CITY OF CORINTH, BY AMENDING THE ZONING CLASSIFICATION FOR THE PROPERTY DESCRIBED IN EXHIBIT "A," ATTACHED HERETO AND INCORPORATED HEREIN, BY AMENDING ORDINANCE 23-06-15-21 "ALBUM CORINTH MULTI-FAMILY PLANNED DEVELOPMENT" PLANNED DEVELOPMENT DISTRICT NO. 67 WITH A BASE ZONING DESIGNATION OF MF-3 MULTI-FAMILY RESIDENTIAL ON APPROXIMATELY ±6.5 ACRES; PROVIDING A LEGAL PROPERTY DESCRIPTION ("PD-67"); PROVIDING A GRAPHIC DEPICTION OF THE SITE TO BE REZONED (EXHIBIT "B"); APPROVING AMENDMENTS TO EXHIBIT "C", PLANNED DEVELOPMENT STANDARDS TO AMEND SECTION 1, "PURPOSE AND BASE DISTRICT", SUBSECTION A, "PURPOSE", TO CHANGE THE NAME OF PD-67 FROM "ALBUM CORINTH PLANNED DEVELOPMENT NO. 67" TO "BRIDGEVIEW PLANNED DEVELOPMENT DISTRICT NO. 67 AND SECTION 2 "USES AND AREA REGULATIONS", SUBSECTION B, "PERMITTED USES AND REGULATIONS" TO ADD RETAIL AND RESTAURANT USES AS PERMITTED USES; PROVIDING FOR THE INCORPORATION OF PREMISES; PROVIDING AMENDMENTS TO EXHIBITS "D" THROUGH "H-13" ADOPTED VIA ORDINANCE NO. 23-06-15-21 AND INCORPORATING HEREIN ALL EXHIBITS ADOPTED VIA ORDINANCE NO. 23-06-15-21; PROVIDING FOR A PENALTY NOT TO EXCEED \$2,000 A DAY FOR EACH VIOLATION OF THE ORDINANCE AND A SEPARATE OFFENSE SHALL OCCUR ON EACH DAY THAT A VIOLATION OCCURS OR CONTINUES; PROVIDING A CUMULATIVE REPEALER CLAUSE; PROVIDING A SEVERABILITY CLAUSE; PROVIDING A SAVINGS/CONFLICT CLAUSE; PROVIDING FOR PUBLICATION AND AN EFFECTIVE DATE.

WHEREAS, the City of Corinth, Texas has adopted a Unified Development Code of the City as part of its Code of Ordinances, which includes the Comprehensive Zoning Ordinance and which, in accordance with the City's Comprehensive Plan, establishes zoning districts and adopts a Zoning Map; and

WHEREAS, the property is comprised of a tract of land, approximately 6.5 acres as described in Exhibit "A" (the "Property") and depicted in Exhibit "B" (the "Graphic Depiction"), and is currently zoned as Planned Development No. 67, with a base zoning of MF-3 Multi-Family Residential, under the City's Unified Development Code and as designated on the City's Zoning Map; and

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WHEREAS, an authorized person having a proprietary interest in the Property (the “**Applicant**”) has requested an amendment to the existing PD-Planned Development zoning district under the City’s Unified Development Code (“UDC”), more specifically identified as Bridgeview (Formerly Album Corinth) District No. 67 (“PD-67”); and

WHEREAS, the City Council and the Planning and Zoning Commission of the City of Corinth, having given the requisite notices by publication and otherwise, and each, held due hearings and afforded a full and fair hearing to all the property owners generally, and to the persons interested and situated in the affected area and in the vicinity thereof; and

WHEREAS, the Planning and Zoning Commission has recommended approval of the requested change in zoning to the Property, and the City Council has determined that the Property has unique characteristics and that zoning through a planned development district is the most appropriate mechanism for zoning the Property, thus an amendment to the Comprehensive Zoning Ordinance and the Zoning Map of the City’s Unified Development Code, in accordance with the standards and specifications set forth herein, including without limitation the Planned Development Standards set forth in **Exhibit “C”** should be approved; and

WHEREAS, the City Council further considered the character of the Property and proposed development and the positive impact of restaurant and retail uses on the downtown area; and

WHEREAS, the City Council finds that the requested Amendment to the City’s Comprehensive Zoning Ordinance and Zoning Map to effect the change in zoning for the Property in this amendment to PD-67 promotes the health and the general welfare, provides adequate light and air, prevents the over-crowding of land, avoids undue concentration of population, and facilitates the adequate provision of transportation, water, sewerage, schools, parks and other public requirements; and the general health, safety and welfare of the community; and

WHEREAS, the City Council finds and determines that the adoption of this Ordinance amending Exhibit “C” and reincorporating all Exhibits adopted via Ordinance No. 23-06-15-21 serves the interest of public health, safety and welfare and should be adopted;

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF CORINTH, TEXAS:

**SECTION 1.
INCORPORATION OF PREMISES**

The above and foregoing recitals constitute legislative findings of the City Council, are true and correct and are incorporated into the body of this Ordinance for all purposes.

**SECTION 2.
LEGAL PROPERTY DESCRIPTION; AMENDMENT**

That the Unified Development Code of the City of Corinth (“UDC”), which UDC includes the Comprehensive Zoning Ordinance that establishes zoning districts in accordance with the City’s Comprehensive Plan, and adopts the Zoning Map of the City of Corinth, is hereby amended by the adoption of this Ordinance amending Ordinance No. 23-06-15-21 zoning the Property as Planned Development No. 67 on approximately 6.5 acres of land, the overall boundary and legal description

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as specifically described in **Exhibit “A,”** attached hereto and incorporated herein (the “Property”), and as graphically depicted in **Exhibit “B,”** attached hereto and incorporated herein (the “Graphic Depiction”), and subject to the regulations contained in this Ordinance, including without limitation **Exhibit “C,”** (the “Planned Development Standards”) as further described in Section 3 below.

SECTION 3. LAND USE REGULATIONS/ZONING MAP

A. Ordinance No. 23-06-15-21 amending the City’s Comprehensive Zoning Ordinance and Land Use Map to establish Album Corinth Multi-Family Planned Development District No. 67 (“Album Corinth PD-67”) is hereby amended to change the name from “Album Corinth Planned Development No. 67” to “Bridgeview Planned Development District No. 67 (“PD-67”)” and the Planned Development Standards set forth in **Exhibit “C,”** thereof, Section 1, “Purpose and Base District”, Subsection A, “Purpose” is hereby amended to reference Bridgeview Planned Development District No. 67 (“PD-67”).

B. The Planned Development Standards set forth in **Exhibit “C,”** of Ordinance No. 23-06-15-21, Section 2, “Uses and Area Regulations”, Subsection B, “Permitted Uses and Regulations” is hereby amended to add restaurant uses without drive-in or drive through service, retail stores and shops as a Permitted Use. Section 2(B) of Exhibit “C” shall be and read in its entirety as set forth in Exhibit “C” hereto. An amended and restated Exhibit “C”, Planned Development Standards, Bridgeview (formerly Album Corinth) attached hereto and incorporated herein, is hereby adopted. The Planned Development Standards set forth in **Exhibit “C”** hereto are made a part hereof for all purposes, and shall be adhered to in their entirety for the purposes of this PD-Planned Development zoning district (“PD-67”) with a base zoning of MF-3, Multi-Family Residential. In the event of conflict between the provisions of **Exhibit “C”** and provisions of any other City zoning regulations, including without limitation, the regulations governing the MF-3, Multi-Family Residential zoning district, **Exhibit “C”** shall control. Except in the event of a conflict as provided herein or as otherwise expressly provided herein, all UDC regulations shall apply to the Property and shall be cumulative.

C. That the zoning regulations and district herein established for the Property have been adopted in accordance with the Comprehensive Plan for the purpose of promoting the health, safety, morals and the general welfare of the community. They have been designed, with respect to both present conditions and the conditions reasonably anticipated to exist in the foreseeable future; to lessen congestion in the streets; to provide adequate light and air; to prevent overcrowding of land; to avoid undue concentration of population; and to facilitate the adequate provision of transportation, water, sewerage, drainage and surface water, parks and other commercial needs and development of the community. They have been made after a full and complete hearing with reasonable consideration among other things of the character of the district and its peculiar suitability for the particular uses and with a view of conserving the value of buildings and encouraging the most appropriate use of land throughout the community.

D. The Planned Development Standards (**“Exhibit C”**) to Ordinance No. 23-06-15-21 as amended hereby shall control the use and development of the Property in accordance with the provisions of this Ordinance, and all building permits and development requests shall be in accordance with applicable City ordinances, the PD Concept Plan (**“Exhibit D”**), and the “Ancillary Conceptual Plans” as identified in Section 4 of this Ordinance. This Ordinance and all Exhibits hereto shall remain in effect as set forth herein unless amended by the City Council, or as

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otherwise provided for in UDC Subsection 2.10.09, Minor PD Amendment or Adjustment, as amended.

E. If a change to this Ordinance, including without limitation, the PD Concept Plan, and/or associated Ancillary Conceptual Plans, if any, is requested for the Property, the request shall be processed in accordance with the UDC and other development standards in effect at the time the change is requested for the proposed development and shall be subject to City Council approval, or as otherwise provided for in UDC Subsection 2.10.09, Minor PD Amendment or Adjustment, as amended.

F. The official Zoning Map of the City of Corinth, Texas shall be amended in accordance with this Ordinance amending Ordinance No. 23-06-15-21 renaming the Property as PD-67, “Bridgeview Planned Development District” as set forth herein with the Base Zoning Designation continuing to remain MF-3 Multi-Family Residential and rezoning to allow retail uses as set forth in **Exhibit “C”** hereto.

SECTION 4. ADDITIONAL ANCILLARY CONCEPTUAL PLANS

The additional ancillary conceptual plans adopted pursuant to Ordinance No. 23-06-15-21 shall apply to the Property and shall be adhered to in the development and use of the Property. Such additional and ancillary conceptual plans are set forth in the Concept Landscape Plan (**“Exhibit E”**), Tree Survey and Preliminary Tree Protection and Mitigation Plan (**“Exhibit F”**), Private Recreation and Open Space Plan (**“Exhibit G”**), Elevations (**“Exhibit “H” (“H-1 – H-13”)**), are attached hereto and incorporated herein, and are collectively herein referred to as the **“Ancillary Conceptual Plans.”** The Ancillary Conceptual Plans adopted pursuant to Ordinance No. 23-06-15-21 are attached hereto, incorporated and restated herein and shall remain in full force and effect.

SECTION 5. CUMULATIVE REPEALER

This Ordinance shall be cumulative of all other Ordinances and shall not repeal any of the provisions of such Ordinances except for those instances where there are direct conflicts with the provisions of this Ordinance. Ordinances, or parts thereof, in force at the time this Ordinance shall take effect and that are inconsistent with this Ordinance are hereby repealed to the extent that they are inconsistent with this Ordinance. Provided however, that any complaint, action, claim or lawsuit which has been initiated or has arisen under or pursuant to such other Ordinances on this date of adoption of this Ordinance shall continue to be governed by the provisions of such Ordinance and for that purpose the Ordinance shall remain in full force and effect.

SECTION 6. SEVERABILITY

If any section, subsection, clause, phrase, or provision of this Ordinance, or the application thereof to any person or circumstance, shall to any extent be held by a court of competent jurisdiction to be invalid, void, or unconstitutional, the remaining sections, subsections, clauses, phrases, and provisions of this Ordinance, or the application thereof to any person or circumstance, shall remain in full force and effect and shall in no way be affected, impaired or invalidated.

**SECTION 7.
SAVINGS/CONFLICT**

In the event of a direct conflict between the provisions of this Ordinance and any other regulation or rule prescribed by charter, another ordinance, resolution or other authorization of the City, the provisions of this ordinance shall control. Notwithstanding the foregoing, all rights and remedies of the City are expressly saved as to any and all complaints, actions, claims, or lawsuits, which have been initiated or have arisen under or pursuant to such conflicting Ordinance, or portion thereof, on the date of adoption of this Ordinance shall continue to be governed by the provisions of that Ordinance and for that purpose the conflicting Ordinance shall remain in full force and effect.

**SECTION 8.
PENALTY FOR VIOLATIONS**

Any person, firm, or corporation who intentionally, knowingly or recklessly violates any provision of this Ordinance or the Code of Ordinances, as amended hereby, shall be subject to a fine not to exceed the sum of five hundred dollars (\$500.00) for each offense, and each and every day any such offense shall continue shall be deemed to constitute a separate offense, provided, however, that in all cases involving violation of any provision of this Ordinance or Code of Ordinances, as amended hereby, governing the fire safety, zoning, or public health and sanitation shall be subject to a fine not to exceed the sum of two thousand dollars (\$2,000.00) for each offense, and each and every day any such offense shall continue shall be deemed to constitute a separate offense.

**SECTION 9.
PUBLICATION/EFFECTIVE DATE**

This Ordinance shall take effect upon its publication as required by law. The City Secretary is directed to publish the caption and penalty of this Ordinance as required by the City Charter and state law.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF CORINTH
THIS 7TH DAY OF MARCH, 2024.**

DocuSigned by:
Bill Heidemann
AC74FAA88CA6468...

Bill Heidemann, Mayor

DocuSigned by:
Lana Wylie
D77DD89FB0C3473...

Lana Wylie, City Secretary



APPROVED AS TO FORM:
DocuSigned by:
Patricia Adams
B5BAF55D871D428...

Patricia A. Adams, City Attorney

EXHIBIT "A"
LEGAL DESCRIPTION

BEING a 6.500 acre tract of land situated in the J.P. Walton Survey, Abstract No. 1389, Denton County, Texas, being a portion of Lot 3, Block A, Goddard School Addition, an addition to the City of Corinth, Denton County, Texas, according to the replat recorded in Document No. 2019-320, Official Records, Denton County, Texas (ORDCT), and being all of Lot 2, Block A, A.L. Lamascus Addition, an addition to the City of Corinth, Denton County, Texas, according to the plat recorded in Cabinet F, Page 400, Plat Records, Denton County, Texas (PRDCT), and being a portion of Lot 3, Block A, of said A.L. Lamascus Addition, said 6.500 acre tract of land being more particularly described by metes and bounds as follows:

BEGINNING at a 5/8" iron rod found for the northwest corner of said Lot 3, Goddard School Addition, the northeast corner of Lot 3, Block A, Corinth Professional Buildings Addition, an addition to the City of Corinth, according to the plat recorded in Document No. 2009-90, ORDCT, and in the south right-of-way line of Corinth Parkway, an 84.00 foot wide right-of-way, described in the deed to the City of Corinth, as recorded in Volume 4477, Page 1540, Deed Records, Denton County, Texas (DRDCT);

THENCE North 88°41'39" East, with the north line of said Lot 3, Goddard School Addition and the south right-of-way line of said Corinth Parkway, a distance of 324.11 feet to a 5/8" capped iron rod stamped "MMA" set for the northeast corner of said Lot 3, Goddard School Addition and in the west line of a called 39.176 acre tract of land (Tract I) described in the deed to the City of Corinth, Texas, as recorded in Document No. 97-88168, ORDCT;

THENCE South 1°44'04" East, departing the south right-of-way line of said Corinth Parkway, with the common line of said Lot 3, Goddard School Addition, Lot 2 and Lot 3 of said A.L. Lamascus Addition and said City of Corinth tract, a distance of 890.97 feet to a 1/2" capped iron rod stamped "ARTHUR SURVEYING COMPANY" found for the northeast corner of a called 0.167 acre tract of land described in the deed to the City of Corinth, as recorded in Document No. 2006-18425, ORDCT;

THENCE South 88°15'56" West, over and across said Lot 3, A.L. Lamascus Addition, with the north line of said City of Corinth tract (2006-18425), a distance of 33.21 feet to a 1/2" capped iron rod stamped "ARTHUR SURVEYING COMPANY" found for the southeast corner of a called 0.138 acre tract of land described in the deed to the City of Corinth, as recorded in Document No. 2007-140511, ORDCT;

THENCE over and across said Lot 3, A.L. Lamascus Addition, with the north line of said City of Corinth tract (2007-140511), the following courses and distances:

North 25°59'32" West, a distance of 4.13 feet to a 1/2" capped iron rod stamped "ARTHUR SURVEYING COMPANY" found for corner;

North 43°18'20" West, a distance of 21.32 feet to a 1/2" capped iron rod stamped "ARTHUR SURVEYING COMPANY" found for corner;

North 87°01'01" West, a distance of 27.01 feet to a 1/2" iron rod found for corner;

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North 80°28'21" West, a distance of 24.37 feet to a 1/2" iron rod found for corner;

North 69°42'15" West, a distance of 29.03 feet to a 1/2" iron rod found for corner;

North 79°28'25" West, a distance of 25.76 feet to a 1/2" iron rod found for corner;

North 89°05'11" West, a distance of 21.68 feet to a 1/2" iron rod found (disturbed) for corner;

South 71°04'15" West, a distance of 44.27 feet to a 1/2" iron rod found for corner;

South 32°50'19" West, a distance of 28.69 feet to a 5/8" capped iron rod stamped "MMA" set for corner;

South 10°15'37" East, a distance of 7.43 feet to a 1/2" iron rod found (disturbed) for the southwest corner of said City of Corinth tract (2007-140511) and in the north line of said City of Corinth tract (2006-18425);

THENCE South 88°15'56" West, with the north line of said City of Corinth tract (2006-18425), a distance of 93.02 feet to a 1/2" capped iron rod stamped "ARTHUR SURVEYING COMPANY" found for the northwest corner of said City of Corinth tract (2006-18425), in the west line of said A.L. Lamascus Addition and the east line of Lot 3, Block 1, Autumn Oaks, an addition to the City of Corinth, Denton County, Texas, according to the plat recorded in Cabinet U, Page 744, PRDCT, from said 1/2" capped iron rod stamped "ARTHUR SURVEYING COMPANY" found, a 5/8" iron rod found for the southwest corner of said City of Corinth tract (5006-18425), bears South 1°44'04" East, a distance of 22.50 feet;

THENCE North 1°44'04" West, with the common line of said Lot 2 and Lot 3, A.L. Lamascus Addition, Lot 3 of said Goddard School Addition, Lot 2 and Lot 3 of said Autumn Oaks addition and Lot 3 of said Corinth Professional Buildings Addition, a distance of 893.39 feet to the **POINT OF BEGINNING** and containing 283,128 Square Feet or 6.500 Acres of Land, more or less.

EXHIBIT "B"
GRAPHIC DEPICTION OF THE SITE



**EXHIBIT “C”
PLANNED DEVELOPMENT STANDARDS
BRIDGEVIEW (FORMERLY ALBUM CORINTH)
MULTI-FAMILY RESIDENTIAL FOR A 55+ AGE-RESTRICTED ACTIVE ADULT
COMMUNITY**

SECTION 1: PURPOSE AND BASE DISTRICT

A. Purpose

The regulations set forth in this **Exhibit “C”** provide development standards for multifamily residential uses within the Bridgeview Planned Development District No. 67 (“PD-67”) (formerly identified as “Album Corinth Planned Development District No. 67 (“PD-67”)”). The boundaries of PD-67 are identified by metes and bounds on the Legal Description, **Exhibit “A”** to this Ordinance, and the Property shall be developed in accordance with these regulations and the Planned Development “PD” Concept Plan as depicted on **Exhibit “D”**, and associated Ancillary Concept Plans as depicted in **Exhibits “E”, “F”, “G”, and “H”** to this Ordinance (collectively the foregoing are referred to as the “Development Standards”). A use that is not expressly authorized herein is expressly prohibited in this PD-67.

B. Base District

In this PD-67, the “MF-3” Multifamily Residential District regulations of the Corinth Unified Development Code, Ordinance No. 13-05-02-08, as amended, shall apply to the Property except as modified herein (hereinafter “UDC” or “Unified Development Code”). If a change to the PD Concept Plan, and/or associated Ancillary Concept Plans is requested, the request shall be processed in accordance with the UDC and development standards in effect at the time the change is requested for the proposed development per the Planned Development Amendment Process.

SECTION 2: USES AND AREA REGULATIONS:

A. Purpose

The following “Development Regulations” represent special development regulations, and specific departures or modifications, as well as waivers from the regulations outlined in Unified Development Code (UDC) in order to permit the unique design and afford flexibility and innovation of design that require certain departures from the “based zoning” regulations to create the active-adult project as presented in the Planned Development “PD” Concept Plan as depicted on Exhibit “D”, and other associated exhibits.

B. Permitted Uses and Regulations

UDC Section 2.07 shall apply, except that, the primary use of the planned development for Multi-Family shall be limited to Multi-Family Residential for a 55+ Age-Restricted Active Adult Community. The use shall not include licensed assisted living or skilled nursing facilities. Accessory uses commonly associated with independent retirement housing such as a leasing office, clubhouse, and recreational amenities shall be permitted. Restaurant without

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drive-in or drive through service and retail stores and shops uses shall be permitted.
Carports shall be permitted for covered vehicle parking.

C. Dimensional Regulations

UDC Section 2.08.04 Residential Dimensional Chart shall apply, except as modified in Table A – Dimensional Requirements below:

Table A – Dimensional Requirements

Minimum Front Yard Setback	30'	10'
Minimum Side Yard Setback: Interior Lot	30'	20'
Minimum Side Yard Setback: Corner Lot	30'	20'
Minimum Rear Yard Setback	30'	20'
Minimum Lot Area	1 Acre	6.5 Acres
Maximum Density	16 DU/A	31 DU/A
Minimum Lot Width:	150'	> 200'
Minimum Lot Depth	100'	> 200'
Minimum Floor Area	850 sq. ft. per DU	696 sq. ft. per DU
Maximum Height (feet/stories)	45' / 3 stories	56' / 4 stories
Maximum Building Area (all buildings)	50%	50%

D. Accessory Buildings and Uses

UDC Section 2.07.07 Accessory Building and Uses shall apply.

E. Landscaping Regulations

UDC Section 2.09.01 Landscape Regulations shall apply, except as modified below and generally depicted on the Concept Landscape Plan (Exhibit “E”).

1. Subsection 2.09.01.B.1.a.i.(b) which requires a landscape buffer width of fifteen feet (15') adjacent to a Collector Street shall be reduced to a width of ten (10) feet to coincide with the reduced front building setback (reference Table A – Dimensional Requirements above).
2. In lieu of the requirements of Subsection 2.09.01.B.1.k.i and ii., that stipulate a twenty (20) foot landscape strip along front and rear of buildings and a fifteen (15) foot landscape strip shall be provided along the side of buildings, the following standards shall apply:
 - a. A minimum of a five (5) foot landscaped strip shall be provided along the facades of each building as measured from the foundation. The landscaped strip area shall be planted at a minimum rate of one (1) Ornamental tree and eight (8) shrubs (may include

a mix of evergreen and deciduous) per ground floor unit and may grouped along the façade to create rhythm, variety, and visual interest along the length of each façade.

- b. In addition to the plantings listed above, the community courtyard proposed for Private Recreation shall be designed to create formal lawn areas and gathering space with fire pit and seating area or similar amenity for use by residents of the development as depicted on the Concept Landscape Plan (Exhibit “E”). A minimum of five (5) shade trees shall be located within the courtyard area.
- c. Where head-in parking is located along the sidewalk and/or a landscape area of either outdoor amenities or ground floor windows and balconies of units, an opaque hedgerow shall be installed to block vehicle headlights.
- d. A minimum of 48 shade trees shall be installed internally on the site as depicted on the Concept Landscape Plan, Exhibit E to reduce the effects of the urban heat island and provide shade throughout the site and along the internal pedestrian sidewalk system.
- e. A landscape edge buffer consisting of large evergreen shrubs that will create a vertical opaque buffer and shall be installed between the “grasscrete drive/lawn area” and the eastern property line to create a defined edge between the multifamily complex and the adjacent public open space active fields.
- f. A formal entry and plaza with sitting area, planters, and specialty paving shall be provided as generally depicted on the PD Concept Plan (Exhibit “C”) and on the Conceptual Landscape Plan (Exhibit “E”).

F. Tree Preservation

UDC Section 2.09.02 Tree Preservation regulations shall apply. Additionally, a minimum of 35% of all healthy Protected Tree CI shall be preserved on site which totals a minimum of 464 Caliper Inches as designated on the Tree Survey and Preliminary Tree Protection and Mitigation Plan (“Exhibit F”),

G. Vehicle Parking Regulations

UDC Section 2.09.03 Vehicular Parking Regulations shall apply, except as modified in Table B – Parking Requirements below:

Table B – Parking Requirements

Regulation	Base Regulations by Use	Proposed Parking Standards/Modifications
Multi-Family Parking Standard	1 space/DU + 1 additional space / bedroom	1.24 spaces/DU

H. Garages, Driveways, and Parking

UDC Section 2.04.07.C.5 Garages, Driveways, and Parking is amended to permit a combination of enclosed garages and carports as on the PD Concept Plan (Exhibit “C”) and in Table C - Garages below.

Table C- Garages.

Regulation		
Enclosed Garages	A minimum of 75% of all apartments shall have a one-car enclosed garage, 240 sq. ft. min, attached or detached .per dwelling unit	A minimum of 46% of the units shall have a combination of enclosed garages and carports.

I. Building Façade Material Standards

UDC Section 2.09.04 Building Façade Material Standards shall apply with the addition of the following standards and as generally depicted on the Elevations (Exhibit “H”):

1. All buildings must include at least four of the following design features (though at a minimum shall include the design elements noted in g., below related to recesses and offsets as shown on the PD Concept Plan (Exhibit “D”) and on the Elevations (Exhibit “H”).
 - a. Architectural lighting attached to the building;
 - b. Arches;
 - c. Balconies and/or outdoor patios;
 - d. Courtyards/plazas;
 - e. Dentil course;
 - f. Divided light windows;
 - g. Recesses, projections, columns, pilasters projecting from the planes; offsets; reveals; or projecting ribs used to express architectural bays;
 - h. Varied roof heights for pitched, peaked, sloped, or flat roof styles;
 - i. Articulated cornice line;
 - j. Architectural details such as tile work, molding, corbels, shutters, awnings, or accent materials integrated into the building façade.
2. All building facades (except for windows, doors, garage doors, balconies/patios, corridor or stairway entrances) shall be composed of 100% brick or stone masonry materials calculated from the finished floor to the top plate at the upper floor. The remaining façade elements such as balconies, stairwells, patio recesses and any accent details above the top of the plate may be cementitious materials that that are painted and/or stained to resemble wood or stucco.
3. Building façade articulation shall be as generally depicted on the Elevations (Exhibit “H”) to create variety and rhythm.

J. Residential Adjacency Standards

UDC Section 2.09.05 Residential Adjacency Standards shall apply.

K. Private Recreation Areas

UDC Section 2.04.07.8.b Recreation Space Requirements shall apply where a minimum of eight percent (8%) of the gross complex is required to be in the form of private recreation. The requirements of this section are in addition to the park dedication requirements within 3.05.10.

Park and Trail Dedications for Residentially Zoned Property. To meet the Private Recreation requirements, the project includes the provision of 0.52 acres or eight percent (8%) of gross complex. The “private recreation areas” are shown on the Private Recreation and Open Space Plan (Exhibit “G”). However, the activity areas shown may be adjusted or changed to include comparable activities if and when popular sports and activities change based on resident demand (i.e., pickle ball).

1. Sidewalk/Pedestrian Paths, Passive Courtyard and fire pit – 0.915 acres
 2. Pool with outdoor seating and lounge areas, pickle ball court, dog park, and shaded sidewalk/pedestrian paths - 0.851
- Total – 1.766 acres

L. Park and Trail Land Dedication.

The UDC Section 3.05.10 Park and Trail Dedication for Residentially Zoned Property requires that Park and Trail dedication for Residentially Zoned Property be provided at a rate of one (1) acre per/50 DU and/or fees-in-lieu-of shall apply, except that the Applicant/Developer agrees to incorporate the tree preservation area and linear open space adjacent to the Lynchburg Creek greenway/trail public open space to create a passive common area for the residents of the complex with benches/sitting area including decorative metal fencing with locked gate providing access out to the public open space as depicted on the PD Concept Plan (Exhibit “D”) and the Concept Landscape Plan (Exhibit”). The 19,632 sq. ft. area identified for the Tree Preservation and Common Open Space area may be used to off-set the direct portion of required trail and land dedication fees provided that that common open space is maintained as depicted on the Private Recreation and Open Space Plan (Exhibit “G”). The Tree Preservation and Common Open Space area shall remain free of any stormwater management facilities should stormwater detention be required at time of Site Plan.

M. Screening of Outdoor Waste Storage

UDC Section 4.02.13 Screening of Outdoor Waste Storage for Nonresidential, Single-Family Attached, and Multi-Family Residential Properties shall apply.

N. Lighting and Glare Regulations

UDC Section 2.09.07 Lighting and Glare Regulations shall apply except that decorative string lights shall be allowed in private recreation areas to add ambiance. This provision shall only apply to the private recreation and open space areas as depicted the on the Private Recreation and Open Space Plan (Exhibit “G”).

O. Sign Regulations

UDC Section 4.01 Sign Regulations shall apply, except that a short wall (with sign), not to exceed thirty inches (30”) two and one-half feet (2.5’) in height and comprised of masonry

material consistent with the main building architecture, may be permitted with a minimum five-foot (5') setback from the property line to create a formal edge defining the plaza/sitting area as generally depicted on the Concept Landscape Plan (Exhibit "E").

P. Fence and Screening Regulations

UDC Section 4.02 Fence and Screening Regulations shall apply, except that 4.02.11.E Residential Construction Abuts a Collector or an Arterial Street shall not apply. Additionally, perimeter fencing as depicted on the PD Concept Plan (Exhibit "D") shall be comprised of a transparent decorative iron fence with pedestrian gate access along the western and southern property lines.

SECTION 3: ADDITIONAL DEVELOPMENT CONDITIONS

A. Phasing

The development will be delivered in one (1) phase.

B. Site Access and Design

The general design configuration of the main access point relative to the following as depicted on the PD Concept Plan (Exhibit "D").

A. The minimum required length of the internal storage (3.05.04 Table 26) shall be permitted at thirty-one feet (31') as measured from the property line.

B. The width of the fire lane may be twenty-four feet (24') at the access point as shown to permit better traffic circulation at this location around and the call box lane.

C. Specialty Paving

Specialty paving, depicted at time of Site Plan approval, shall be installed to denote the arrival point of the site and create a focal point and streetscape relationship with the adjoining plaza/sitting area.

D. Grasscrete Fire Lane

A grasscrete fire lane shall as depicted on the PD Concept Plan (Exhibit "D") shall be installed providing emergency access. The grasscrete area shall be maintained as a lawn area and be designed with a Knox Lock gate (or similar acceptable to the Fire Marshal) at the access to Corinth Parkway and a gate delineating the western most access from the resident parking area. The type of gate shall be determined at time of Site Plan and be acceptable to the Fire Marshal though at a minimum would be a one-armed gate (or similar).

E. Miscellaneous Impacts

1. A Traffic Impact Assessment has been provided.

Ordinance No. 24-03-07-10

Page **15** of **34**

2. Floodplain/Wetlands - Development will not impact the floodplain area.
3. Detention required for sites over 1 acre - Detention is not anticipated to be needed on the site. A downstream assessment has been undertaken and with the proposed conditions the site will not cause an increase in discharge or water surface elevation from existing conditions. A full drainage study will be provided during the site plan/engineering plan review. However, should a detention area be required at time of Site Plan; the location of the basin will be located underground or in another manner acceptable to the City and in a location that does not impact the Tree Preservation Open Space area at the south end of the property. This stipulation shall also apply to any areas required to address water quality requirements on site.
4. Utilities – a portion of the existing 16’ utility easement shown to be abandoned will be further evaluated at the time of Site Plan and detailed engineering design. e Century Link utility easement and access to the existing building will remain.

Ordinance No. 24-03-07-10

Page **16** of **34**

EXHIBIT “D”

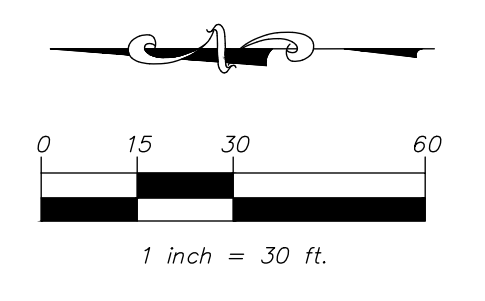
Concept Landscape Plan (“**Exhibit E**”), Tree Survey and Preliminary Tree Protection and Mitigation Plan (“**Exhibit F**”), Private Recreation and Open Space Plan (“**Exhibit G**”), Elevations (“**Exhibit H**” (“**H-1 – H-13**”)), are attached hereto and incorporated herein, and are collectively herein referred to as the “**Ancillary Conceptual Plans.**”

LINE #	LENGTH	DIRECTION
L1	93.02'	N 88°15'56" E
L2	7.43'	N 10°15'37" W
L3	28.69'	N 32°50'19" E
L4	44.27'	N 71°04'15" E
L5	21.68'	S 89°05'11" E
L6	25.76'	S 79°28'25" E
L7	29.03'	S 69°42'15" E
L8	24.37'	S 80°28'21" E
L9	27.01'	S 87°01'01" E
L10	21.32'	S 43°18'20" E
L11	4.13'	S 25°59'32" E
L12	33.24'	N 88°13'53" E

SITE DATA TABLE	
MULTI-FAMILY REQUIREMENTS	
SITE DATA	
CURRENT ZONING	SF-2
BASE ZONING	MF-3
SITE AREA	6.5 AC
UNITS	196
BUILDING COVERAGE (ALL BUILDINGS)	50% MAX.
DENSITY	30.8 UNITS/AC
BUILDING DATA	
NUMBER OF STORES	4 STORES
MINIMUM FLOOR AREA	696 SF
BUILDING SETBACKS	
FRONT YARD	10' MIN.
REAR YARD	20' MIN.
SIDE YARD	20' MIN.
ADJACENT TO ONE OR TWO FAMILY RESIDENTIAL	NA

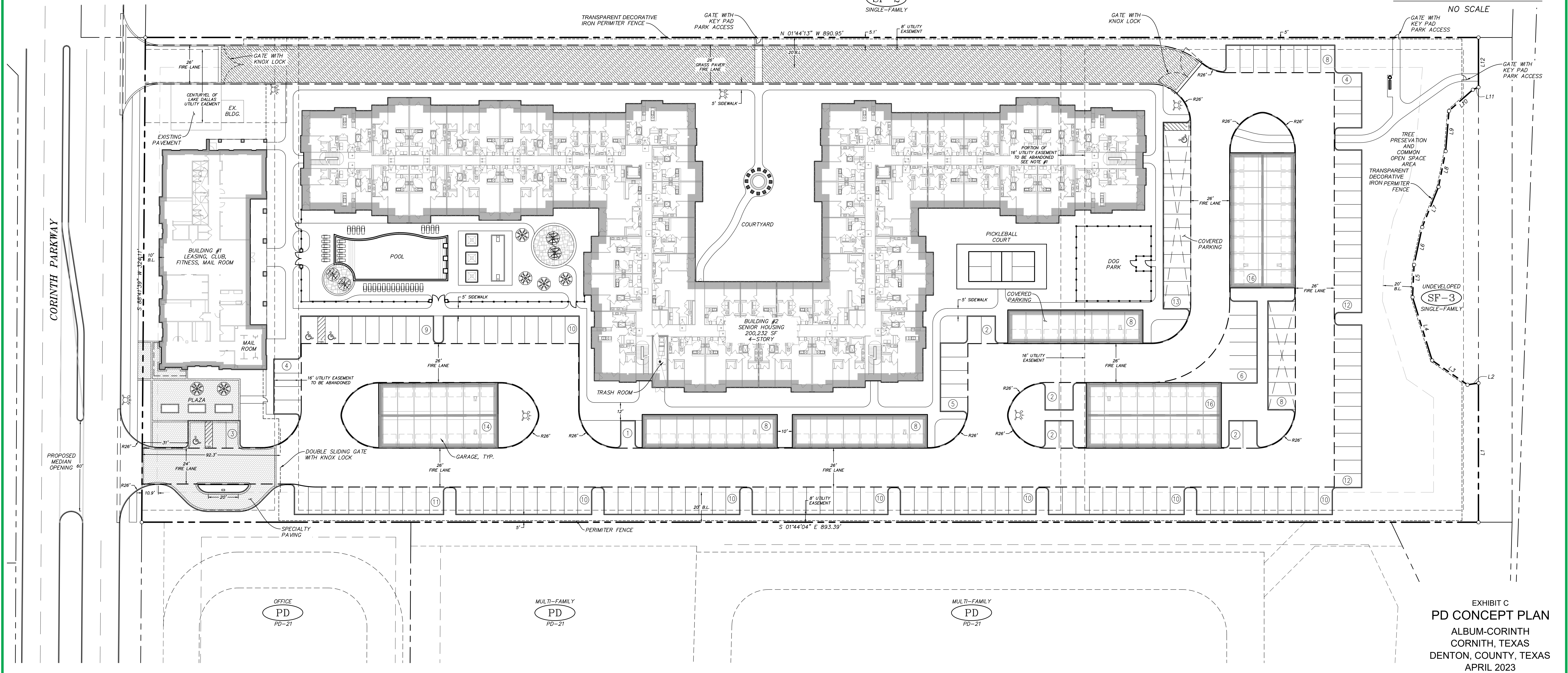
SITE DATA TABLE	
UNIT TYPE	NUMBER
MULTI-FAMILY 1 BEDROOM	120
MULTI-FAMILY 2 BEDROOM	76
TOTAL MULTI-FAMILY UNITS	196
REQUIRED PARKING	
1.24 PS PER UNIT	244
TOTAL REQUIRED PARKING	244
PROVIDED PARKING	
SURFACE PARKING (INCLUDING CARPORTS & GARAGES)	1.24 SPACES PER UNIT
TOTAL PARKING PROVIDED	244 SPACES (1.24 UNIT)

NOTES:
 1. A PORTION OF THE EXISTING 16' UTILITY EASEMENT SHOWN TO BE ABANDONED WILL BE FURTHER EVALUATED AT THE TIME OF SITE PLAN / DETAILED ENGINEERING DESIGN.
 2. AERIAL FIRE APPARATUS ACCESS ROAD MUST BE ABLE TO ACCOMMODATE 85,000 LBS.
 3. ALL GATES WITHIN THE FIRE LANE SHALL PROVIDE AUTOMATIC ACCESS WITH A MANUAL DISCONNECT.



LEGEND:

- GRASS PAVER FIRE LANE [Hatched box symbol]
- FIRE LANE [Dashed line symbol]
- PARKING COUNT (5) [Circle with 5 symbol]
- FENCING [Dashed line symbol]
- ZONING [Circle with Z symbol]
- EX. USE CLASSIFICATION [Circle with Z symbol]



PLOTTED BY: JACOB BURDETTE DATE: 5/10/2023 9:44 AM DWTPL P:\2406-00-00-0000\Planning & Zoning\201_Zoning Representation\Design\Site\Sheet\CONCEPT PLAN.dwg

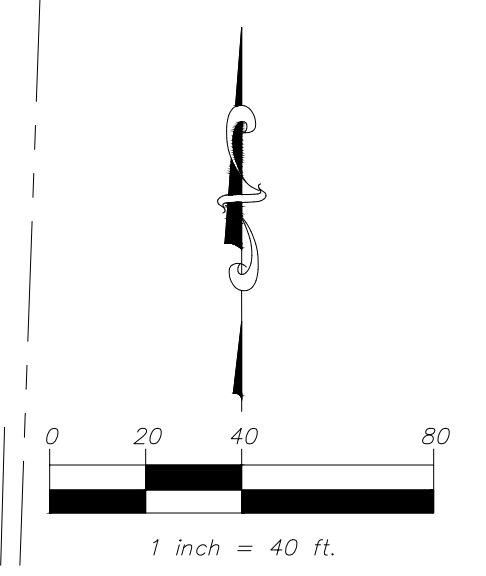
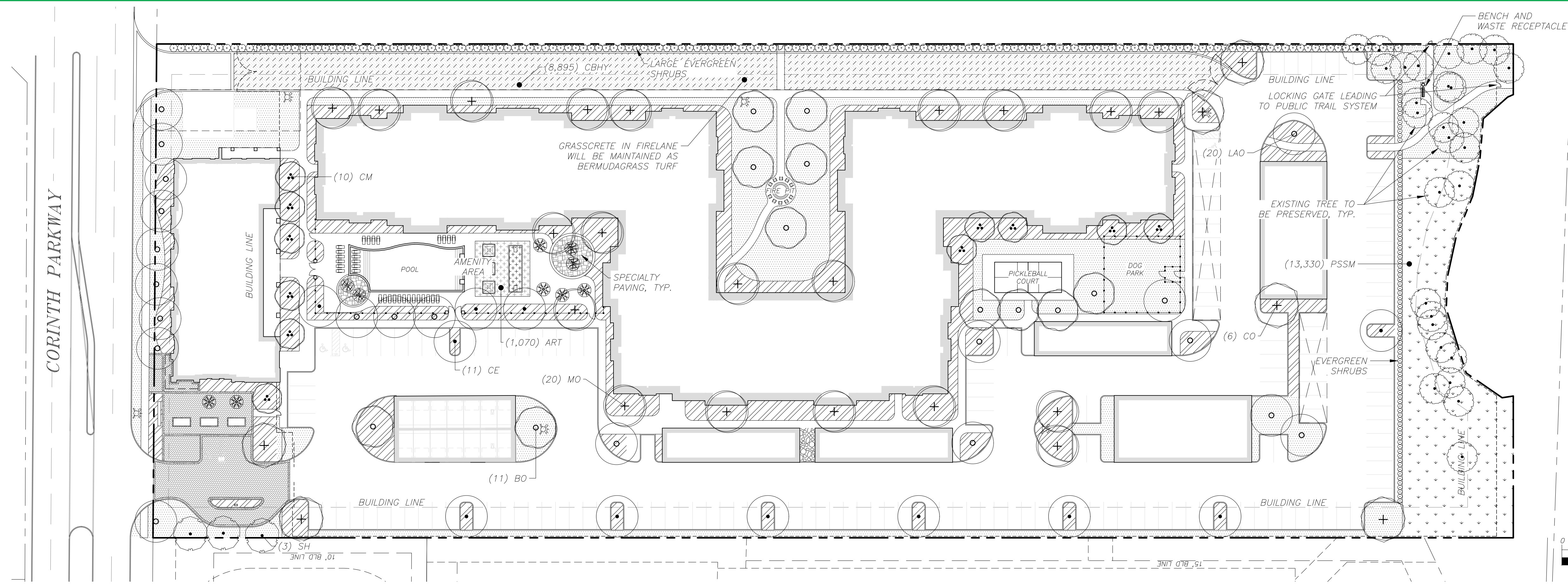
EXHIBIT C
PD CONCEPT PLAN
 ALBUM-CORINTH
 CORINTH, TEXAS
 DENTON, COUNTY, TEXAS
 APRIL 2023

ZONING CASE #ZAPD23-0001

OWNER:
 KRIESTEN, JILL SMALLWOOD
 3654 CORINTH PARKWAY
 CORINTH, TX 76208

OWNER:
 HASA INVESTMENT LLC
 2625 OLD DENTON RD
 CARROLLTON, TX 75007

DEVELOPER:
 GREYSTAR DEVELOPMENT
 CENTRAL, LLC
 600 E. LAS COLINAS BLVD., SUITE 2100
 IRVING, TEXAS 75039
 CONTACT: JR THULIN
 PHONE: (214) 451-5698



PLANT SCHEDULE

TREES	CODE	QTY	COMMON / BOTANICAL NAME	CALIPER	CONTAINER	HEIGHT	SPREAD
	XP	19	EXISTING PROTECTED TREE TO BE PRESERVED	VARIABLES			
LARGE TREES	CODE	QTY	COMMON / BOTANICAL NAME	CALIPER	CONTAINER	HEIGHT	SPREAD
	BO	11	BURR OAK QUERCUS MACROCARPA NURSERY GROWN	3" CAL.	B&B OR CONTAINER	11'-12' HT.	MIN. 8' SPREAD
	CE	12	CEDAR ELM ULMUS CRASSIFOLIA NURSERY GROWN	3" CAL.	B&B OR CONTAINER	11'-12' HT.	MIN. 8' SPREAD
	CO	6	CHINQUAPIN OAK QUERCUS MUEHLBERGII NURSERY GROWN	3" CAL.	B&B OR CONTAINER	11'-12' HT.	MIN. 8' SPREAD
	LAO	17	LACEY OAK QUERCUS LACEYI NURSERY GROWN	3" CAL.	B&B OR CONTAINER	11'-12' HT.	MIN. 7' SPREAD
	MO	20	MONTEREY OAK QUERCUS POLYMORPHA NURSERY GROWN	3" CAL.	B&B OR CONTAINER	10'-11' HT.	MIN. 7' SPREAD
ORNAMENTAL TREES	CODE	QTY	COMMON / BOTANICAL NAME	CALIPER	CONTAINER	HEIGHT	SPREAD
	CM	11	CATAWBA CRAPE MYRTLE (PURPLE) LAGERSTROEMIA INDICA 'CATAWBA' NURSERY GROWN	3" CAL.	B&B OR CONTAINER	8'-9' HT.	MIN. 6' SPREAD
	SH	3	SAVANNAH HOLLY ILEX X ATTENUATA 'SAVANNAH'	3" CAL.	B&B OR CONTAINER	9'-10' HT.	MIN. 6' SPREAD
SHRUBS	CODE	QTY	COMMON / BOTANICAL NAME	CONTAINER			
	ES	254	EVERGREEN SHRUB	5 GAL.			
SHRUB AREAS	CODE	QTY	COMMON / BOTANICAL NAME	SIZE			
	SGP	2,982	SHRUB AND GROUND COVER PLANTING SHRUB AND GROUND COVER PLANTING	VARIABLES			
GROUND COVERS	CODE	QTY	COMMON / BOTANICAL NAME	CONTAINER			
	PSSM	13,330	PRAIRIE STARTER SEED MIX	HYDROMULCH			
	CBHY	16,021	CELEBRATION BERMUDAGRASS CYNODON DACTYLON 'CELEBRATION' SOD	HYDROMULCH			
	CBE	35,016	CELEBRATION BERMUDAGRASS CYNODON DACTYLON 'CELEBRATION'	SOLID SOD			
MATERIALS	CODE	QTY	COMMON / BOTANICAL NAME	CONTAINER			
	RRO	229	3"-5" DEPTH OVER LANDSCAPE FABRIC RIVER ROCK	SQ. FT.			
	ART	1,303	TYPE TO BE SELECTED ARTIFICIAL TURF	SQ. FT.			

LANDSCAPE DATA

LANDSCAPE EDGE AT R.O.W. ADJACENCIES	REQUIRED	PROVIDED
CORINTH PARKWAY - COLLECTOR - FRONTAGE LENGTH - 324 L.F.		
DEPTH REQUIRED	15'	10'
NUMBER OF 3" CALIPER TREES REQUIRED @ (1) PER 30 L.F. OF FRONTAGE	11	11
VEHICLE HEADLIGHT SCREENING ABUTTING THE LANDSCAPE EDGE	AT PARKING LOT	AT PARKING LOT
PARKING LOT REQUIREMENTS	REQUIRED	PROVIDED
PARKING SPACES	247	247
ONE 3" SHADE TREE PROVIDED FOR EVERY 10 PARKING SPACES	25	25
20 S.F. OF INTERIOR PARKING LOT LANDSCAPING FOR EACH PARKING SPACE	4,940 S.F.	9,580 S.F.*
ALL PARKING ISLANDS TO BE PROTECTED BY 6" RAISED CURB	YES	YES
NO PAVING SHALL BE PERMITTED WITHIN 5' OF CENTER OF TREE	YES	YES
MULTI-FAMILY INTERNAL AND OPEN SPACE REQUIREMENTS	REQUIRED	PROVIDED
INTERIOR TREES BASED ON 47,051 S.F. OF REQUIRED YARDS @ (1), 3" SHADE TREE PER 1,000 S.F.	48	48

* INDICATES REQUIRED MINIMUM STANDARD EXCEEDED

PLANT MATERIAL SPECIFICATION

ALL TREES TO BE UNIFORM BY SPECIES WITH STRAIGHT TRUNKS, MATCHING CHARACTER, AND FULL BRANCHING STRUCTURE.
ALL SHRUBS TO BE FULL AND UNIFORM BY SPECIES WITH MATCHING CHARACTER AND BRANCHING STRUCTURE.
EACH PLANT VARIETY MUST COME FROM A SINGLE SOURCE SUPPLIER IN ORDER TO MAINTAIN A CONSISTENT APPEARANCE.
ALL TREES, B&B AND CONTAINER TO BE NURSERY GROWN STOCK, WITH A WELL ESTABLISHED ROOT SYSTEM. COLLECTED SPECIMENS WILL BE REJECTED. CONTAINER GROWN PLANT MATERIAL MUST HAVE A WELL-ESTABLISHED ROOT SYSTEM REACHING THE SIDES OF THE CONTAINER, ABLE TO MAINTAIN A FIRM BALL WHEN THE CONTAINER IS REMOVED, BUT SHALL NOT HAVE EXCESSIVE ROOT GROWTH ENCIRCLING THE INSIDE OF THE CONTAINER.
ALL PLANT MATERIAL SHALL COMPLY WITH THE MINIMUM REQUIREMENTS AS SET FORTH BY THE AMERICAN ASSOCIATION OF NURSERYMEN, TEXAS ASSOCIATION OF NURSERYMEN STANDARDS AND/OR AS STATED IN THE PLANT SCHEDULE, WHICHEVER IS MORE STRINGENT.
ALL TREES MUST MEET ALL THREE SPECIFICATIONS IN THE PLANT LEGEND: CALIPER, HEIGHT AND SPREAD.

GENERAL UTILITY NOTES:

- ALL EXISTING UTILITY DATA IS PROVIDED FOR INFORMATION ONLY. ALTHOUGH THIS DATA IS SHOWN AS ACCURATELY AS POSSIBLE, THE CONTRACTOR IS CAUTIONED THAT THE OWNER AND THE ENGINEER NEITHER ASSUMES NOR IMPLIES ANY RESPONSIBILITY FOR THE ACCURACY OF THIS DATA. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE UTILITY AFFECTED AND VERIFY THESE LOCATIONS AND ELEVATIONS PRIOR TO CONSTRUCTION.
- CALL 811 OR OTHER UTILITY LOCATING SERVICES 48 HOURS PRIOR TO CONSTRUCTION ACTIVITY. MMA, INC. IS NOT RESPONSIBLE FOR KNOWING ALL EXISTING UTILITIES OR DEPICTING EXACT LOCATIONS OF UTILITIES ON DRAWINGS.

THIS DOCUMENT IS RELEASED FOR THE PURPOSES OF REVIEW UNDER THE AUTHORITY OF DUWAINE JOINER, RLA NO. 2071 ON 26/04/2023 AND IS NOT TO BE USED FOR CONSTRUCTION, BIDDING OR PERMIT PURPOSES.

OWNER:
HASA INVESTMENT LLC
2625 OLD DENTON RD
CARROLLTON, TX 75007

OWNER:
KRIESTEN, JILL SMALLWOOD
3654 CORINTH PARKWAY
CORINTH, TX 76208

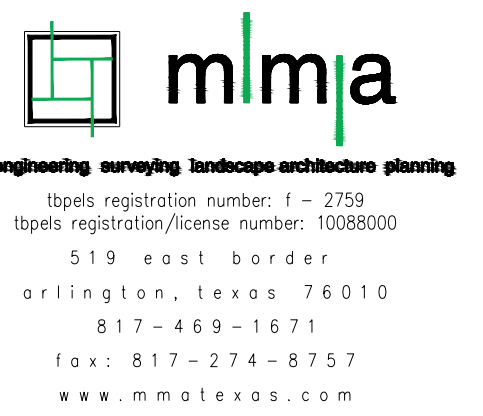
DEVELOPER:
GREYSTAR DEVELOPMENT
CENTRAL, LLC
600 E. LAS COLINAS BLVD., SUITE 2100
IRVING, TEXAS 75039
CONTACT: JR THULIN
PHONE: (214) 451-5698

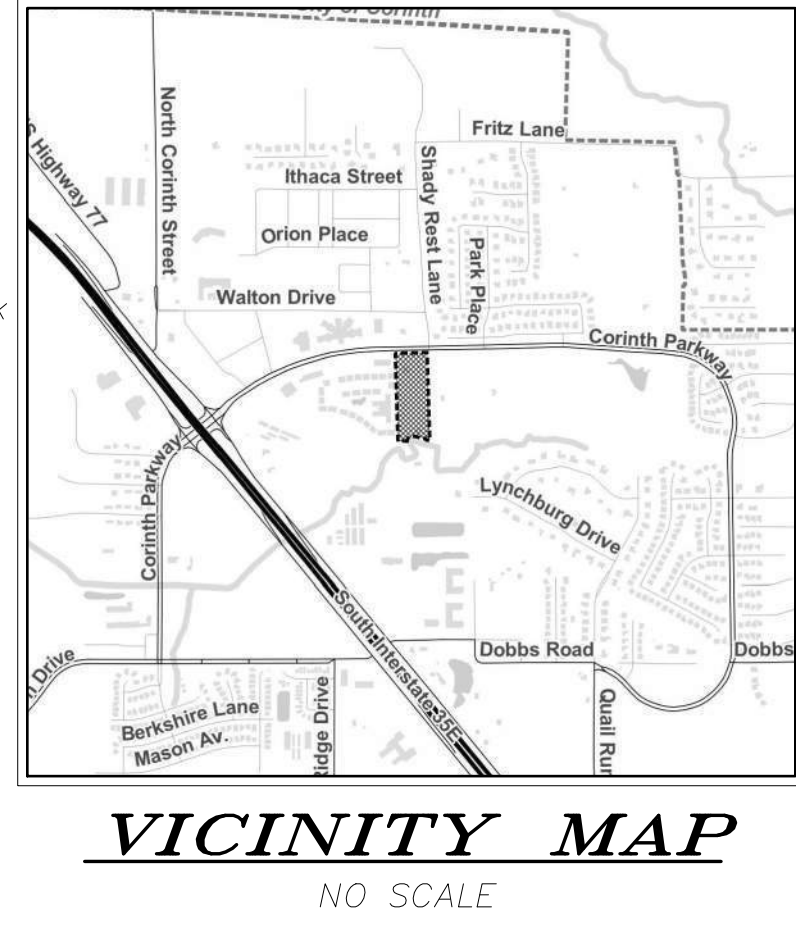
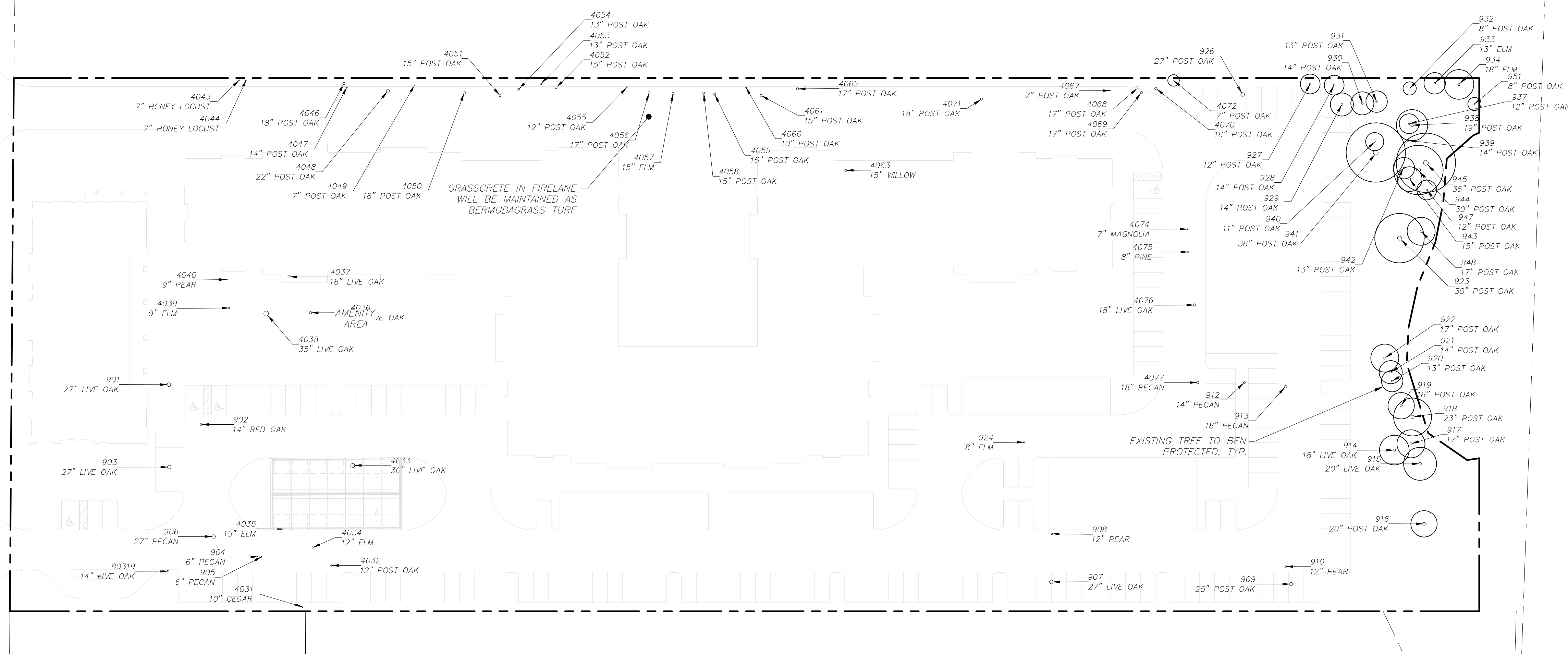
EXHIBIT E
CONCEPT
LANDSCAPE PLAN
ALBUM CORINTH
CITY OF CORINTH
DENTON COUNTY, TEXAS
APRIL 2023

ISSUED FOR
ZONING APPROVAL

ALBUM-CORINTH
CORINTH, TEXAS
DENTON, COUNTY, TEXAS
APRIL 2023

ZONING CASE #ZAPD23-0001





TREE PRESERVATION NOTES:

- EXISTING TREES TO REMAIN SHALL BE PRESERVED DURING CONSTRUCTION FROM TREE STRUCTURE DAMAGE AND COMPACTION OF SOIL UNDER AND AROUND TREE DRIPLINE (CANOPY).
- IF ANY PART OF THE ROOT STRUCTURE IS DAMAGED DURING ADJACENT EXCAVATION AND/OR CONSTRUCTION ACTIVITY, NOTIFY THE GENERAL CONTRACTOR IMMEDIATELY. IF A MAJOR ROOT OR GROUP OF ROOTS IS ENCOUNTERED DURING EXCAVATION, A CERTIFIED ARBORIST SHALL BE CONSULTED/SECURED FOR RECOMMENDATIONS CONCERNING PRUNING AND/OR BRIDGING THE ROOTS (ETC.)
- GRADES/ELEVATIONS UNDER EXISTING TREES SHALL REMAIN UNDISTURBED. DO NOT PLACE FILL MATERIAL UNDER THE DRIPLINE FOR ANY LENGTH OF TIME. MAKE SURE THE CHANGES IN ADJACENT GRADES HAVE PROVISIONS TO CARRY MOISTURE AWAY FROM THE TREE.
- NO MATERIALS INTENDED FOR USE IN CONSTRUCTION OR WASTE MATERIALS ACCUMULATED DUE TO EXCAVATION OR DEMOLITION SHALL BE PLACED WITHIN THE LIMITS OF THE TREE DRIPLINE.
- TOXIC SOLUTIONS OR OTHER LIQUID CHEMICALS SHALL NOT BE DEPOSITED NEAR OR WITHIN THE LIMITS OF A TREE DRIPLINE. THIS WOULD INCLUDE, BUT NOT BE LIMITED TO; PAINT, OIL, SOLVENTS, ASPHALT, CONCRETE, MORTAR, PRIMERS, ETC.
- NO SIGNS, WIRES, OR OTHER ATTACHMENTS, OTHER THAN THOSE OF A PROTECTIVE NATURE SHALL BE ATTACHED TO ANY TREE.
- NO VEHICULAR AND/OR CONSTRUCTION EQUIPMENT, TRAFFIC OR PARKING IS ALLOWED WITHIN THE LIMITS OF THE TREE DRIPLINE. NO VEHICLE AND/OR CONSTRUCTION EQUIPMENT SHOULD BE CLEANED NEAR A TREE.
- BORING OF UTILITIES MAY BE PERMITTED UNDER PRESERVED TREES IN CERTAIN CIRCUMSTANCES. THE MINIMUM LENGTH OF THE BORE SHALL BE THE WIDTH OF THE TREE'S CANOPY AND SHALL BE AT A MINIMUM DEPTH OF THIRTY-SIX INCHES (36 IN.).
- THE UTILITY AND IRRIGATION CONTRACTOR SHALL EXERCISE CAUTION WHEN TRENCHING AROUND EXISTING TREES. HAND-DIG ALL TRENCHES WITHIN THE TREE DRIPLINE.
- ALL TREES TO REMAIN, AS NOTED ON DRAWINGS, SHALL HAVE PROTECTIVE FENCING. THE PROTECTIVE FENCING MAY BE COMPRISED OF SNOW FENCING, ORANGE VINYL CONSTRUCTION FENCING, CHAIN LINK FENCE OR OTHER SIMILAR FENCING WITH A FOUR FOOT (4') APPROXIMATE HEIGHT. THE PROTECTIVE FENCING WILL BE LOCATED AS INDICATED ON THE LANDSCAPE PLANS(S) TREE PRESERVATION DETAIL.

TREE TAG#	PROTECTED CALIPER INCHES	SPECIES	NON-PROTECTED INCHES
901	7	27" LIVE OAK	
902	14	14" RED OAK	
903	27	27" LIVE OAK	
904	6	6" PECAN	
905	6	6" PECAN	
906	27	27" PECAN	
907	27	27" LIVE OAK	
908	12	12" PEAR	
909	25	25" POST OAK	
910	12	12" PEAR	
912	14	14" PECAN	
913	18	18" PECAN	
914	18	18" LIVE OAK	
915	20	20" LIVE OAK	
916	20	20" POST OAK	
917	17	17" POST OAK	
918	23	23" POST OAK	
919	16	16" POST OAK	
920	13	13" POST OAK	
921	14	14" POST OAK	
922	17	17" POST OAK	
923	30	30" POST OAK	
924	8	8" ELM	
926	27	27" POST OAK	
927	12	12" POST OAK	
928	14	14" POST OAK	
929	14	14" POST OAK	
930	14	14" POST OAK	
931	13	13" POST OAK	
932	8	8" POST OAK	
933	13	13" ELM	
934	18	18" ELM	
937	12	12" POST OAK	
938	19	19" POST OAK	
939	14	14" POST OAK	
940	11	11" POST OAK	
941	36	36" POST OAK	
942	13	13" POST OAK	
943	15	15" POST OAK	
944	30	30" POST OAK	
945	36	36" POST OAK	
4043		7" HONEY LOCUST	7
4044		7" HONEY LOCUST	7
4046	18	18" POST OAK	
4047	14	14" POST OAK	
4048	22	22" POST OAK	
4049	7	7" POST OAK	
4050	18	18" POST OAK	
4051	15	15" POST OAK	
4052	15	15" POST OAK	
4053	13	13" POST OAK	
4054	13	13" POST OAK	
4055	12	12" POST OAK	
4056	17	17" POST OAK	
4057	15	15" ELM	
4058	15	15" POST OAK	
4059	10	10" POST OAK	
4060	15	15" POST OAK	
4061	15	15" POST OAK	
4062	17	17" POST OAK	
4063	15	15" WILLOW	
4067	7	7" POST OAK	
4068	17	17" POST OAK	
4069	17	17" POST OAK	
4070	16	16" POST OAK	
4071	18	18" POST OAK	
4072	7	7" POST OAK	
4074	7	7" MAGNOLIA	
4075	8	8" PINE	
4076	18	18" LIVE OAK	
4077	18	18" PECAN	
908	12	12" PEAR	
907	27	27" LIVE OAK	
909	25	25" POST OAK	
910	12	12" PEAR	
912	14	14" PECAN	
913	18	18" PECAN	
914	18	18" LIVE OAK	
915	20	20" LIVE OAK	
916	20	20" POST OAK	
917	17	17" POST OAK	
918	23	23" POST OAK	
919	16	16" POST OAK	
920	13	13" POST OAK	
921	14	14" POST OAK	
922	17	17" POST OAK	
923	30	30" POST OAK	
924	8	8" ELM	
926	27	27" POST OAK	
927	12	12" POST OAK	
928	14	14" POST OAK	
929	14	14" POST OAK	
930	14	14" POST OAK	
931	13	13" POST OAK	
932	8	8" POST OAK	
933	13	13" ELM	
934	18	18" ELM	
937	12	12" POST OAK	
938	19	19" POST OAK	
939	14	14" POST OAK	
940	11	11" POST OAK	
941	36	36" POST OAK	
942	13	13" POST OAK	
943	15	15" POST OAK	
944	30	30" POST OAK	
945	36	36" POST OAK	
TOTALS	1328		14

TREE DATA SUMMARY

TOTAL NUMBER OF TREES SURVEYED	85 EXISTING TREES
TOTAL CALIPER INCHES OF ALL TREES SURVEYED	1,342 CALIPER INCHES
TOTAL NUMBER OF PROTECTED TREES AND TOTAL PROTECTED CALIPER INCHES	83 PROTECTED TREES, 1,326 PROTECTED CALIPER INCHES
TOTAL PROTECTED CALIPER INCHES TO BE PRESERVED	A MINIMUM OF 35% OF ALL HEALTHY PROTECTED TREES ON SITE WHICH TOTALS A MINIMUM OF 464 CALIPER INCHES AS DESIGNATED WITHIN THE TREE PRESERVATION AREA

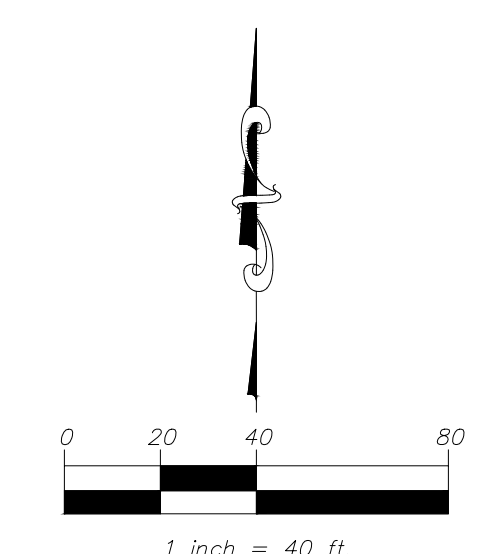
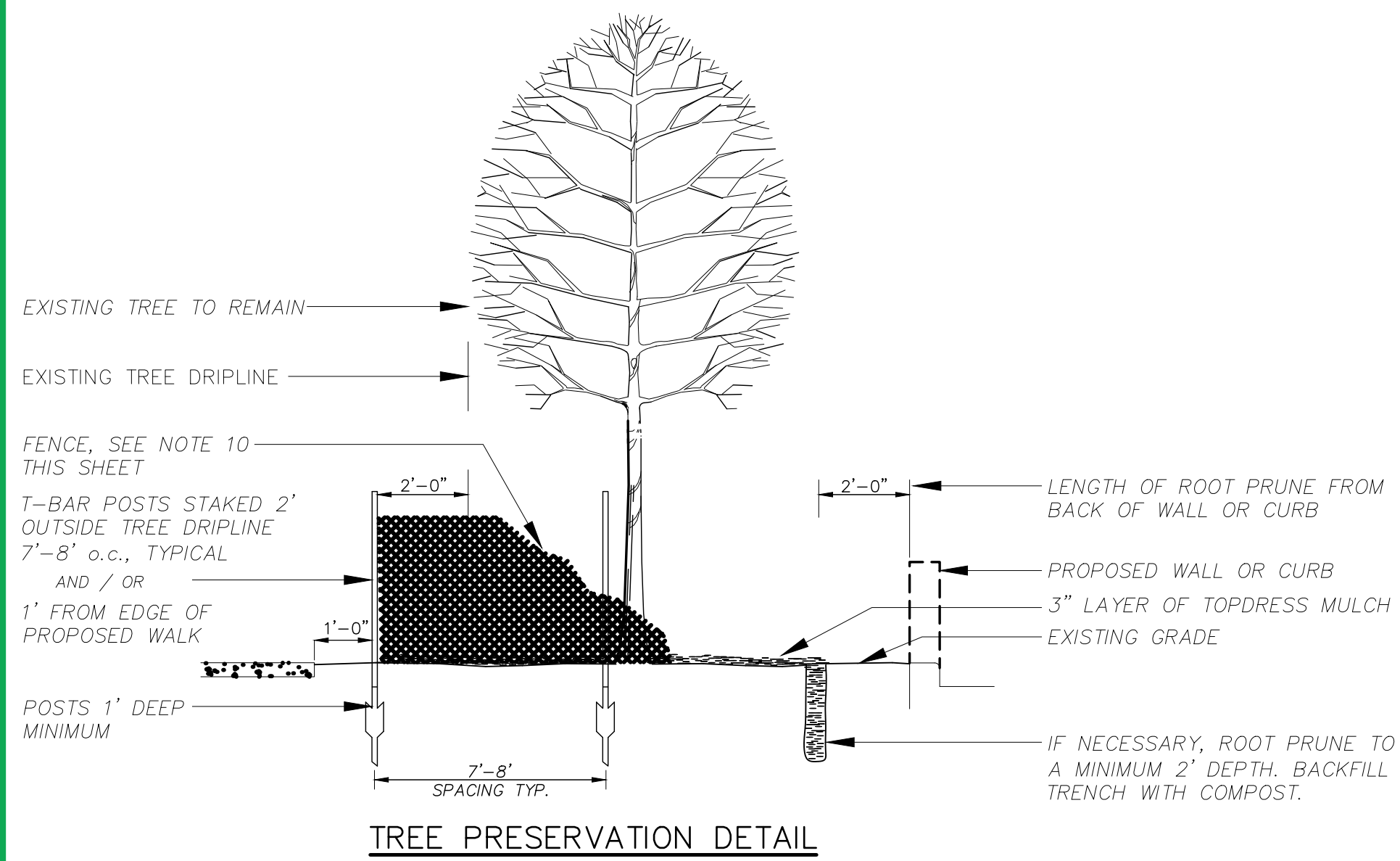


EXHIBIT F
TREE SURVEY AND PRELIMINARY TREE PROTECTION & MITIGATION PLAN*
ALBUM-CORINTH
CORINTH, TEXAS
DENTON, COUNTY, TEXAS
APRIL 2023

ZONING CASE #ZAPD23-0001

OWNER:
KRIESTEN, JILL SMALLWOOD
3654 CORINTH PARKWAY
CORINTH, TX 76208

DEVELOPER:
GREYSTAR DEVELOPMENT
CENTRAL, LLC
600 E. LAS COLINAS BLVD., SUITE 2100
IRVING, TEXAS 75039
CONTACT: JR THULIN
PHONE: (214) 451-5698

OWNER:
HASA INVESTMENT LLC
2625 OLD DENTON RD
CARROLLTON, TX 75007

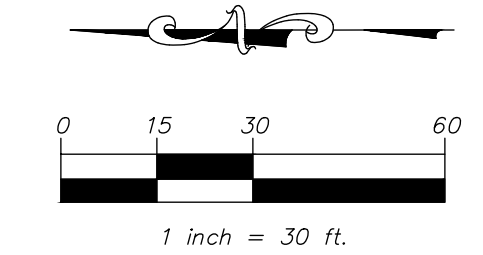
* THIS SHEET IS FOR INFORMATIONAL PURPOSES ONLY. THE TREE SURVEY AND TREE PROTECTION AND MITIGATION PLAN (AND AN ASSOCIATED LANDSCAPE PLAN) WILL BE SUBMITTED AT THE TIME OF SITE PLAN FOR THE RESPECTIVE LOTS.
THIS DOCUMENT IS RELEASED FOR THE PURPOSES OF REVIEW UNDER THE AUTHORITY OF DUWAYNE JOINER, P.L.A. NO. 2071 ON 02/13/2023 AND IS NOT TO BE USED FOR CONSTRUCTION, BIDDING OR PERMIT PURPOSES.



LINE #	LENGTH	DIRECTION
L1	93.02'	N 88°15'56" E
L2	7.43'	N 10°15'37" W
L3	28.69'	N 32°50'19" E
L4	44.27'	N 71°04'15" E
L5	21.68'	S 89°05'11" E
L6	25.76'	S 79°28'25" E
L7	29.03'	S 69°42'15" E
L8	24.37'	S 80°28'21" E
L9	27.01'	S 87°01'01" E
L10	21.32'	S 43°18'20" E
L11	4.13'	S 25°59'32" E
L12	33.24'	N 88°13'53" E

OVERALL AREA DATA TABLE		
	AREA (AC)	AREA (%)
OVERALL SITE AREA		
6.5		
100.0%		
TREE PRESERVATION AREA PROVIDED		
0.451		
6.9%		
PARK & TRAIL DEDICATION PROVIDED		
0.000		
0.0%		
TOTAL TREE PRESERVATION & PARK/TRAIL DEDICATION PROVIDED		
0.451		
6.9%		
PRIVATE RECREATION AREA		
1.766		
27.2%		
TOTAL		
2.217		
34.1%		

AREA DATA TABLE		
AREA TYPE	AREA (AC)	DESCRIPTION
TREE PRESERVATION AREA #1	0.451	TREE PRESERVE WITH WALKING TRAILS AND SEATING
SUBTOTAL		0.451
RECREATION AREA #1	0.915	SIDEWALK/PEDESTRIAN PATHS; PASSIVE COURTYARD; FIRE PIT
RECREATION AREA #2	0.851	POOL WITH OUTDOOR SEATING AND LOUNGE AREAS; PICKLE BALL COURT; DOG PARK; SIDEWALK/PEDESTRIAN PATHS; ENTRY PLAZA
SUBTOTAL		1.766
TOTAL		2.217



LEGEND:

TREE PRESERVATION AREA [Light Green Box]

PRIVATE RECREATION AREA [Light Blue Box]



VICINITY MAP
NO SCALE

CORINTH COMMUNITY PARK
SF-2
 SINGLE-FAMILY

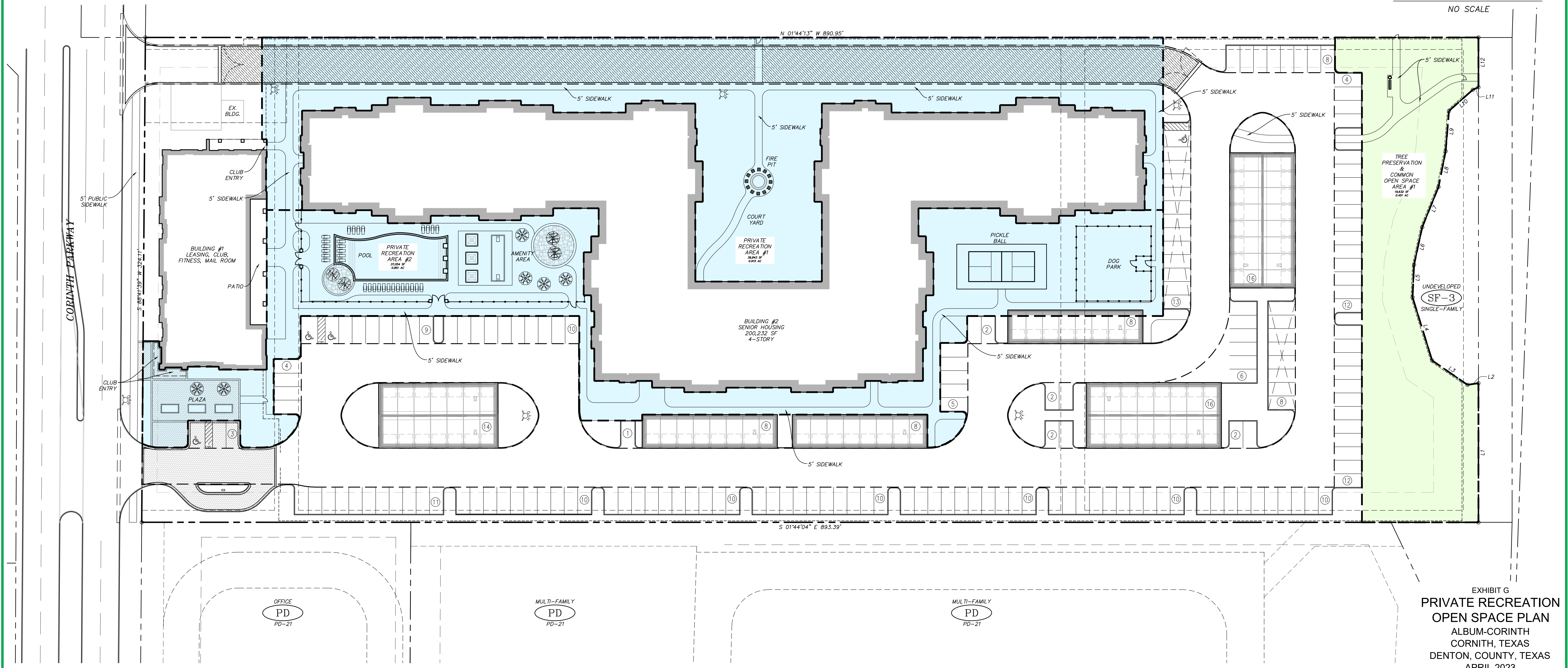


EXHIBIT G
**PRIVATE RECREATION
 OPEN SPACE PLAN**
 ALBUM-CORINTH
 CORINTH, TEXAS
 DENTON, COUNTY, TEXAS
 APRIL 2023

ZONING CASE #ZAPD23-0001

OWNER:
 KRIESTEN, JILL SMALLWOOD
 3654 CORINTH PARKWAY
 CORINTH, TX 76208

OWNER:
 HASA INVESTMENT LLC
 2625 OLD DENTON RD
 CARROLLTON, TX 75007

DEVELOPER:
 GREYSTAR DEVELOPMENT
 CENTRAL, LLC
 600 E. LAS COLINAS BLVD., SUITE 2100
 IRVING, TEXAS 75039
 CONTACT: JR THULIN
 PHONE: (214) 451-5698

PLOTTED BY: JACOB SUMPTHER DATE: 5/10/2023 9:46 AM PATH: P:\3648-00-00-0000\Planning & Zoning\001_Zoning_Representation\Design\Site\Private_Recreation_Open_Space_Plan.dwg

Ordinance No. 24-03-07-10

Page 21 of 34

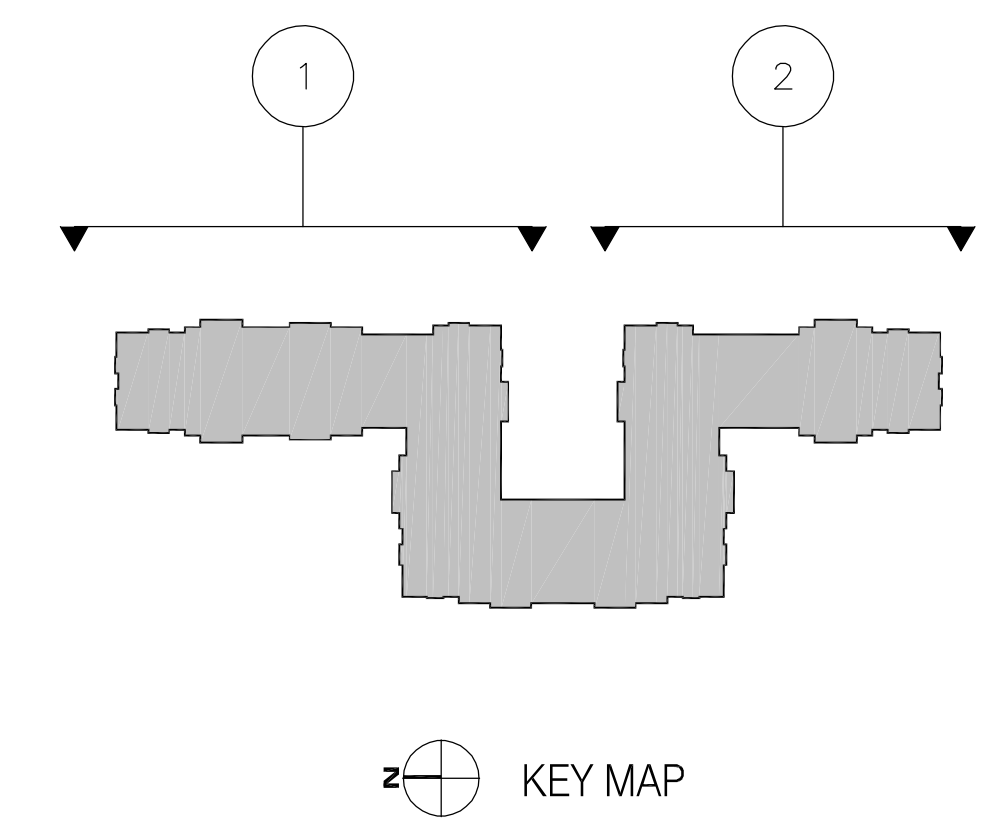


Exhibit H-1 - Elevations



2 EAST ELEVATION
3/32" = 1'-0"

ELEVATION KEYNOTE LEGEND:	
1A	BRICK VENEER
1B	BRICK SOLDIER COURSE
1C	BRICK ROWLOCK
2A	FIBER CEMENT HORIZ. LAP SIDING
2B	FIBER CEMENT TRIM
2C	FIBER CEMENT PANEL
3	BURNISHED BLOCK
4	CONCRETE PANEL
5	WOOD AWNING
6	METAL CANOPY
7	42" HT. MTL. RAILINGS W/ MTL. PICKETS
8	WINDOWS
9	COMPOSITION SHINGLE ROOF



100% Masonry Provided - calculations exclude balconies, patios, and openings, and are measured from finished floor to top of plate



1 EAST ELEVATION
3/32" = 1'-0"

Exhibit H-2 - Elevations

PRELIMINARY BUILDING ELEVATIONS - CORINTH ACTIVE ADULT
CORINTH, TEXAS - GREYSTAR

MEEKS PARTNERS
16000 Memorial Drive
Suite 100
Houston, Texas 77079
281558.8787

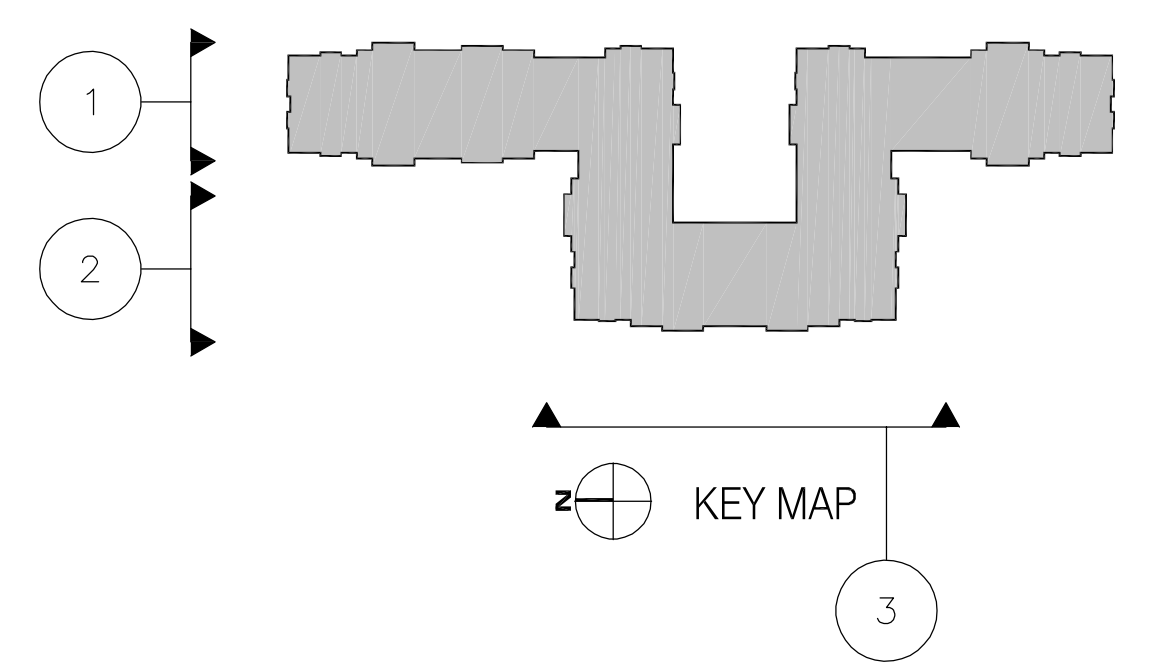
05.02.2023
A-10
JOB NO. 22097

These are copyright and are subject to copyright protection as an "architectural work" under Section 102 of the Copyright Act, 17 U.S.C. as amended December 1, 1990, and known as the Architectural Works Protection Act of 1990. The protection provided by this act is not limited to the overall form or style as the architectural work protection, but is limited to the arrangement and composition of spaces and elements of the design, taken as a whole or in part, and any form or forms represented or copied, in whole or in part, in the execution of such construction or building being altered and/or used.

ELEVATION KEYNOTE LEGEND:	
1A	BRICK VENEER
1B	BRICK SOLDIER COURSE
1C	BRICK ROWLOCK
2A	FIBER CEMENT HORZ. LAP SIDING
2B	FIBER CEMENT TRIM
2C	FIBER CEMENT PANEL
3	BURNISHED BLOCK
4	CONCRETE PANEL
5	WOOD AWNING
6	METAL CANOPY
7	42" HT. MTL. RAILINGS W/ MTL. PICKETS
8	WINDOWS
9	COMPOSITION SHINGLE ROOF



3 WEST ELEVATION
3/32" = 1'-0"



100% Masonry Provided - calculations exclude balconies, patios, and openings, and are measured from finished floor to top of plate



2 NORTH ELEVATION
3/32" = 1'-0"



1 NORTH ELEVATION
3/32" = 1'-0"

Exhibit H-3 - Elevations

PRELIMINARY BUILDING ELEVATIONS - CORINTH ACTIVE ADULT
CORINTH, TEXAS - GREYSTAR

MEEKS PARTNERS
16000 Memorial Drive
Suite 100
Houston, Texas 77079
281.558.8787

05.02.2023

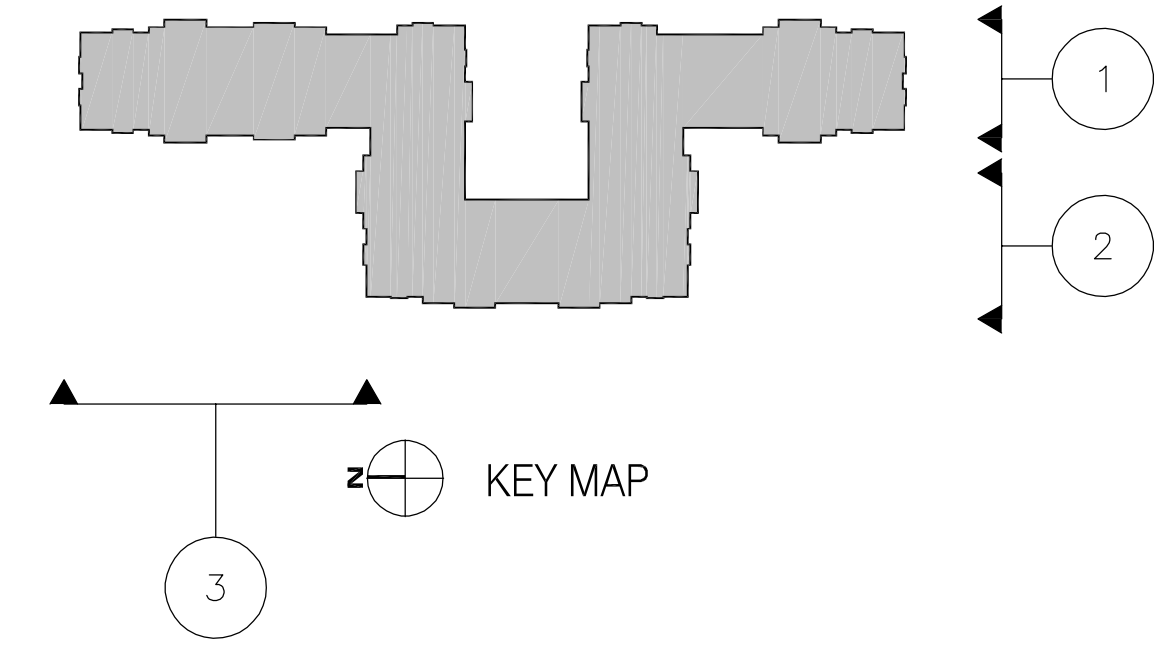
A-11

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ELEVATION KEYNOTE LEGEND:	
1A	BRICK VENEER
1B	BRICK SOLDIER COURSE
1C	BRICK ROWLOCK
2A	FIBER CEMENT HORIZ. LAP SIDING
2B	FIBER CEMENT TRIM
2C	FIBER CEMENT PANEL
3	BURNISHED BLOCK
4	CONCRETE PANEL
5	WOOD AWNING
6	METAL CANOPY
7	42" HT. MTL. RAILINGS W/ MTL. PICKETS
8	WINDOWS
9	COMPOSITION SHINGLE ROOF



3 WEST ELEVATION
3/32" = 1'-0"



100% Masonry Provided - calculations exclude balconies, patios, and openings, and are measured from finished floor to top of plate



2 SOUTH ELEVATION
3/32" = 1'-0"



1 SOUTH ELEVATION
3/32" = 1'-0"

Exhibit H-4 - Elevations

PRELIMINARY BUILDING ELEVATIONS - CORINTH ACTIVE ADULT
CORINTH, TEXAS - GREYSTAR

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16000 Memorial Drive
Suite 100
Houston, Texas 77079
281558.8787

05.02.2023
A-12
JOB NO. 22097

These are copyright and are subject to copyright protection as an "architectural work" under Section 102 of the Copyright Act, 17 U.S.C. as amended October 1, 1990, and Section 101 of the Copyright Act, 17 U.S.C. as amended October 1, 1990, and Section 101 of the Copyright Act, 17 U.S.C. as amended October 1, 1990, and Section 101 of the Copyright Act, 17 U.S.C. as amended October 1, 1990. The protection provided by this notice is not limited to the overall form or arrangement and composition of these drawings and elements of the design, but also includes the arrangement and composition of these drawings and elements of the design, taken as a whole or in part, and any form or forms represented on these drawings or in the construction of such construction or drawings being made and/or used.

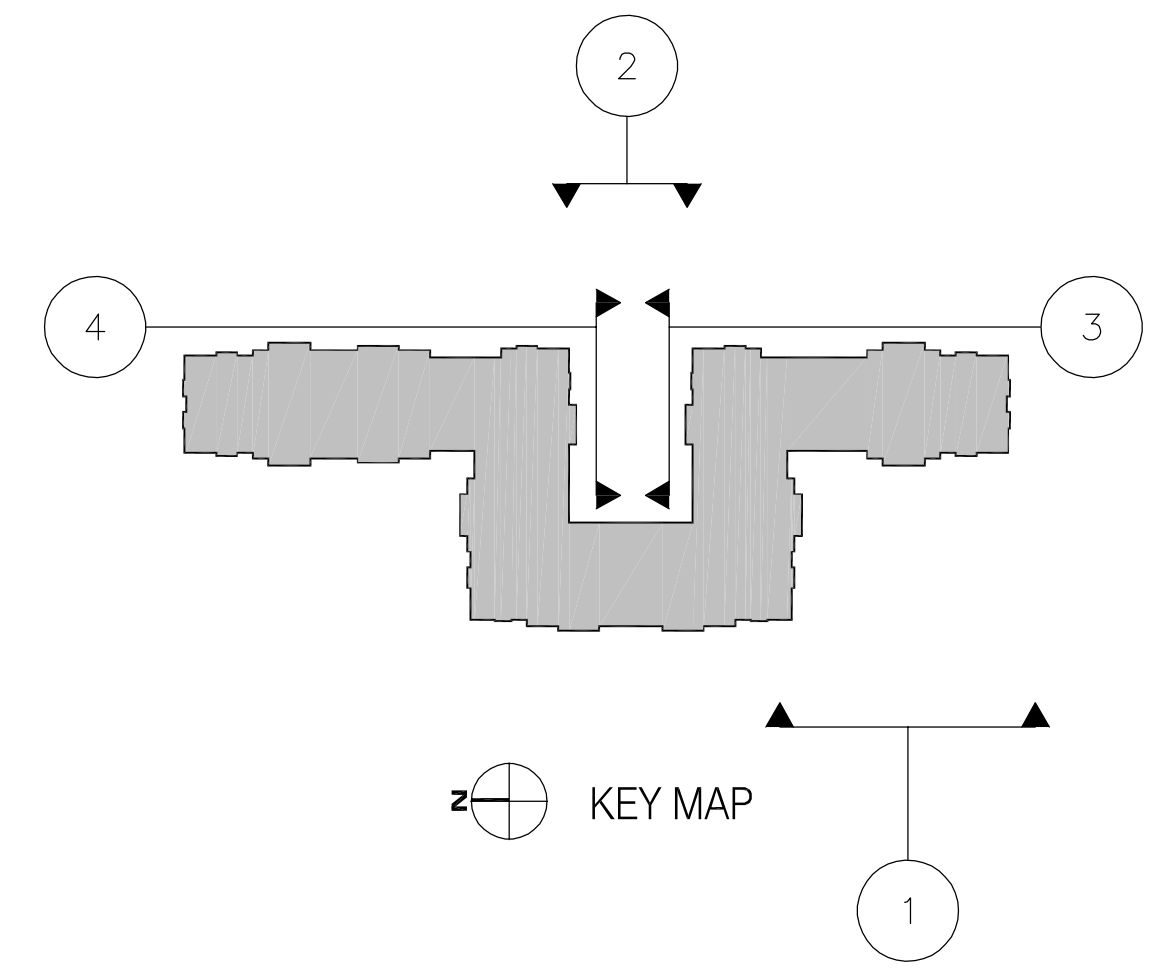
ELEVATION KEYNOTE LEGEND:	
1A	BRICK VENEER
1B	BRICK SOLDIER COURSE
1C	BRICK ROWLOCK
2A	FIBER CEMENT HORIZ. LAP SIDING
2B	FIBER CEMENT TRIM
2C	FIBER CEMENT PANEL
3	BURNISHED BLOCK
4	CONCRETE PANEL
5	WOOD AWNING
6	METAL CANOPY
7	42" HT. MTL. RAILINGS W/ MTL. PICKETS
8	WINDOWS
9	COMPOSITION SHINGLE ROOF



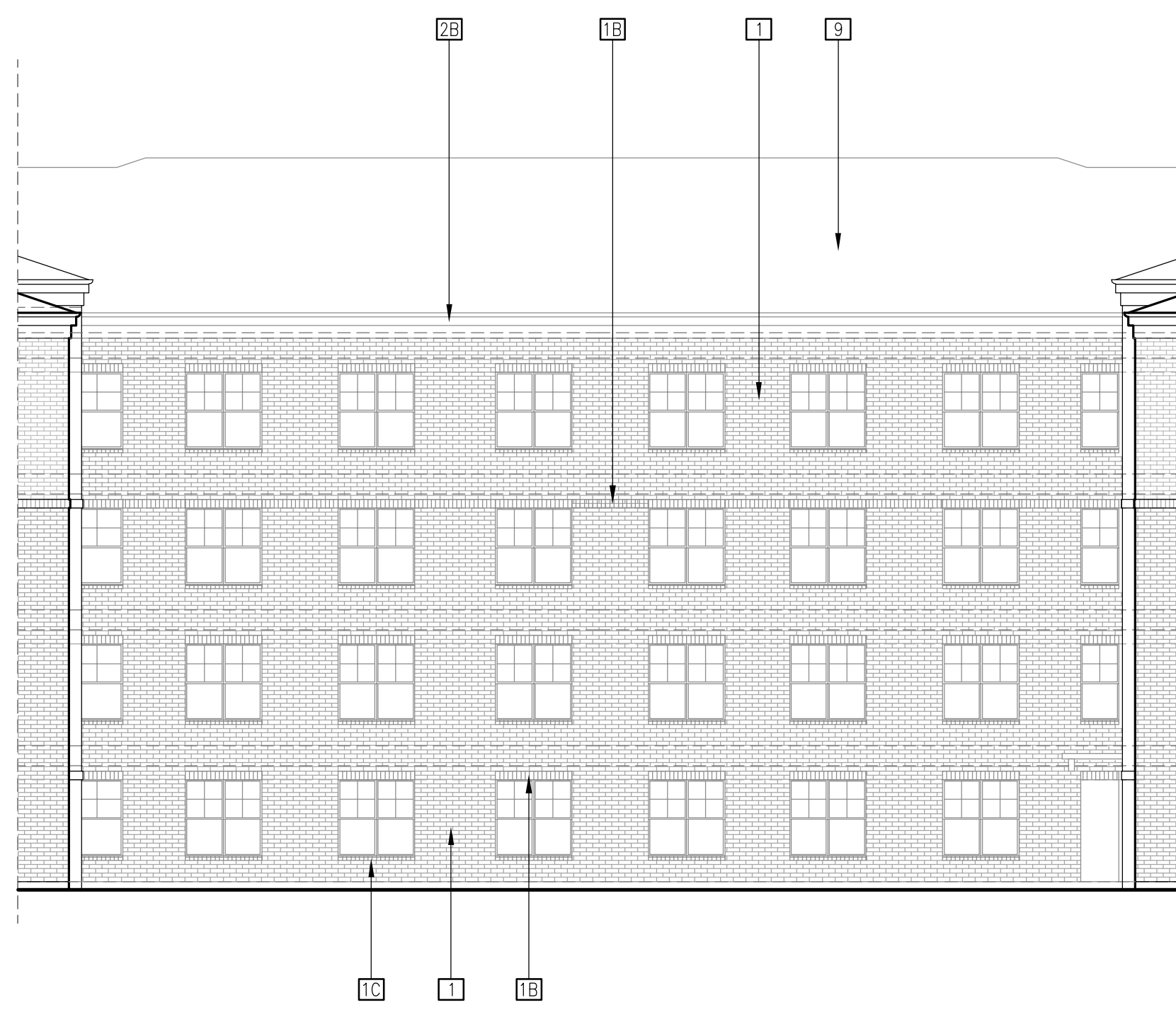
4 NORTH CITYD. ELEVATION
3/32"=1'-0"



3 SOUTH CITYD. ELEVATION
3/32"=1'-0"



100% Masonry Provided - calculations exclude balconies, patios, and openings, and are measured from finished floor to top of plate



2 EAST ELEVATION
3/32"=1'-0"



1 WEST ELEVATION
3/32"=1'-0"

Exhibit H-5 - Elevations

PRELIMINARY BUILDING ELEVATIONS - CORINTH ACTIVE ADULT
CORINTH, TEXAS - GREYSTAR

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Suite 100
Houston, Texas 77079
281558.8787

05.02.2023

A-13

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ELEVATION KEYNOTE LEGEND:

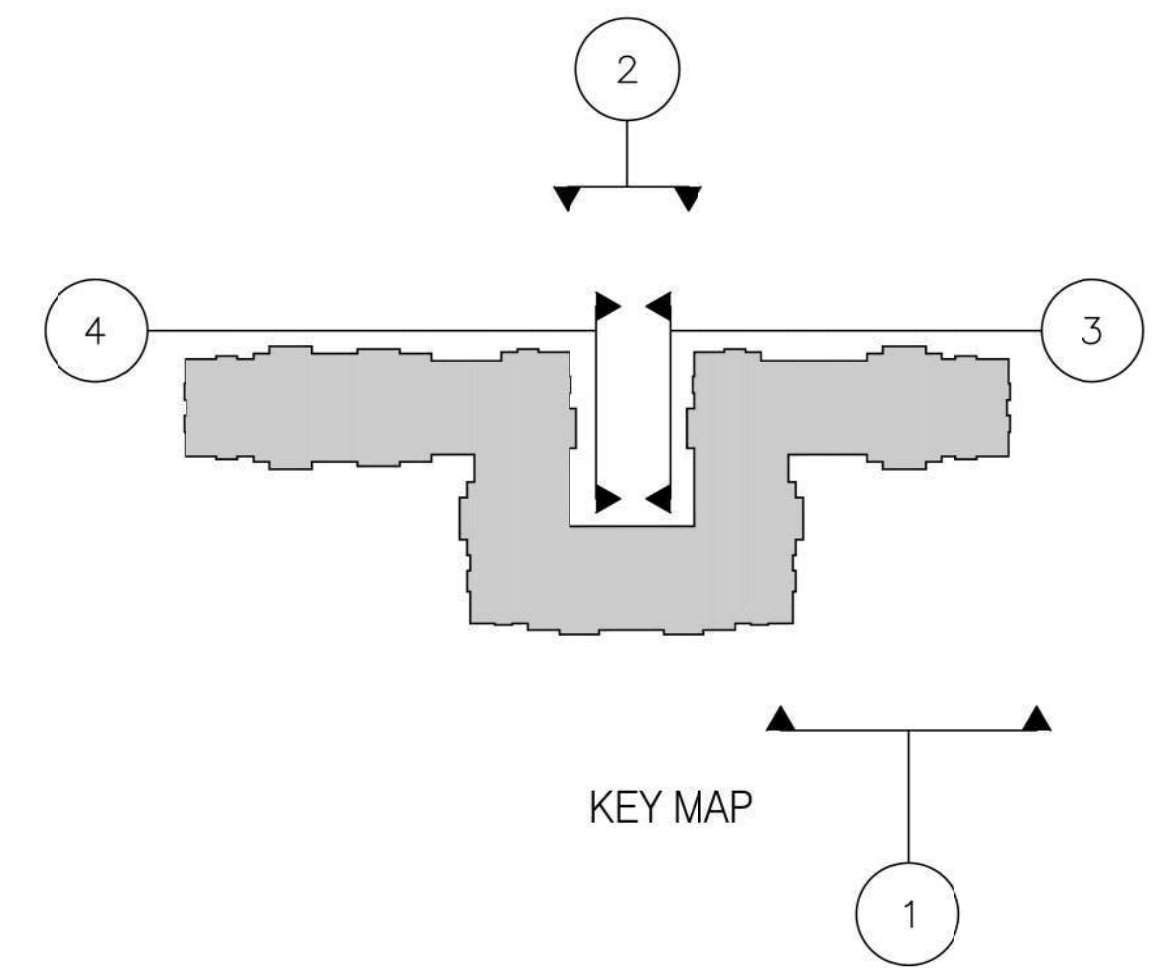
1A	BRICK VENEER
1B	BRICK SOLDIER COURSE
1C	BRICK ROWLOCK
2A	FIBER CEMENT HCRZ. LAP SIDING
2B	FIBER CEMENT TRIM
2C	FIBER CEMENT PANEL
3	BURNISHED BLOCK
4	CONCRETE PANEL
5	WOOD AWNING
6	METAL CANOPY
7	42" HT. MTL. RAILINGS W/ MTL. PICKETS
8	WINDOWS
9	COMPOSITION SHINGLE ROOF



4 NORTH CITYD. ELEVATION
3/32"=1'-0"



3 SOUTH CITYD. ELEVATION
3/32"=1'-0"



KEY MAP



2 EAST ELEVATION
3/32"=1'-0"



1 WEST ELEVATION
3/32"=1'-0"

Exhibit H-6 - Elevations

PRELIMINARY BUILDING ELEVATIONS - CORINTH ACTIVE ADULT

CORINTH, TEXAS - GREYSTAR

MEEKS PARTNERS

18000 Memorial Drive
Suite 100
Houston, Texas 77079
281558.8787

05.02.2023

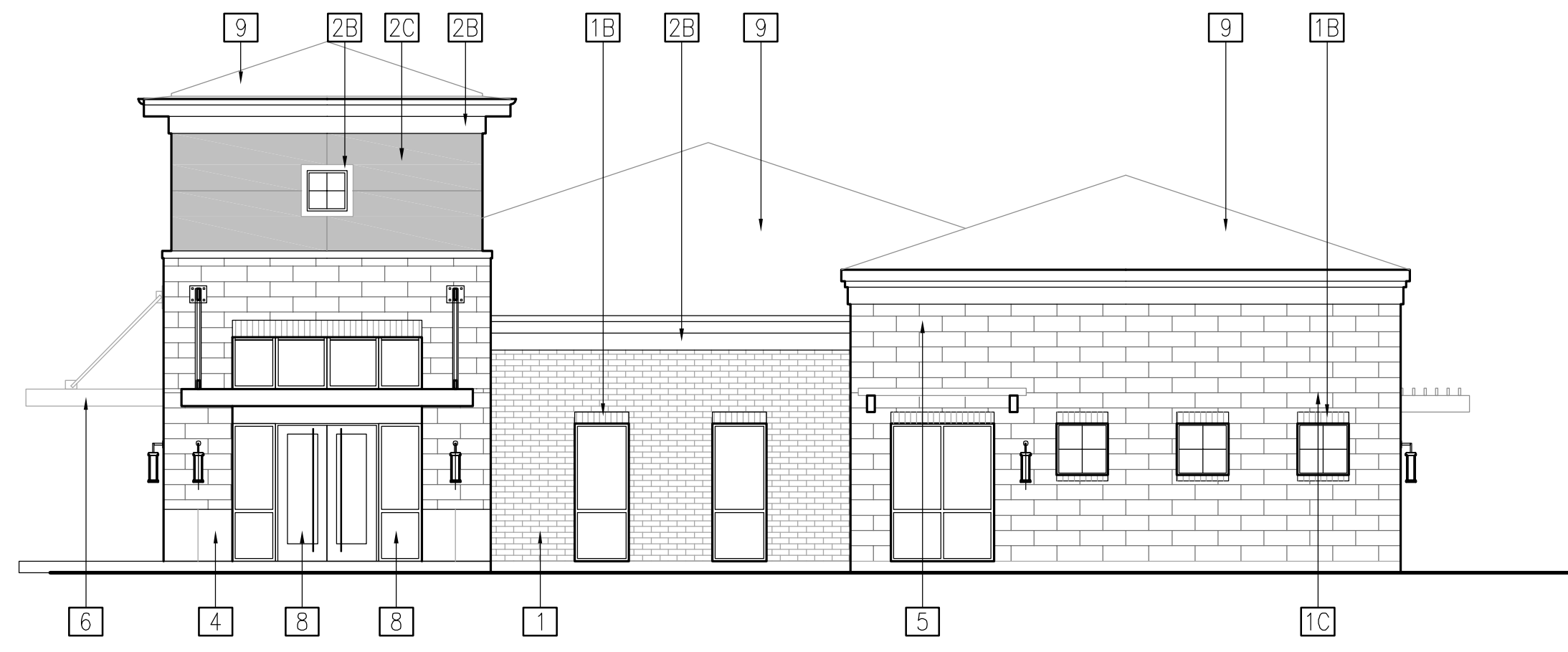
A-13

JOB NO. 22097

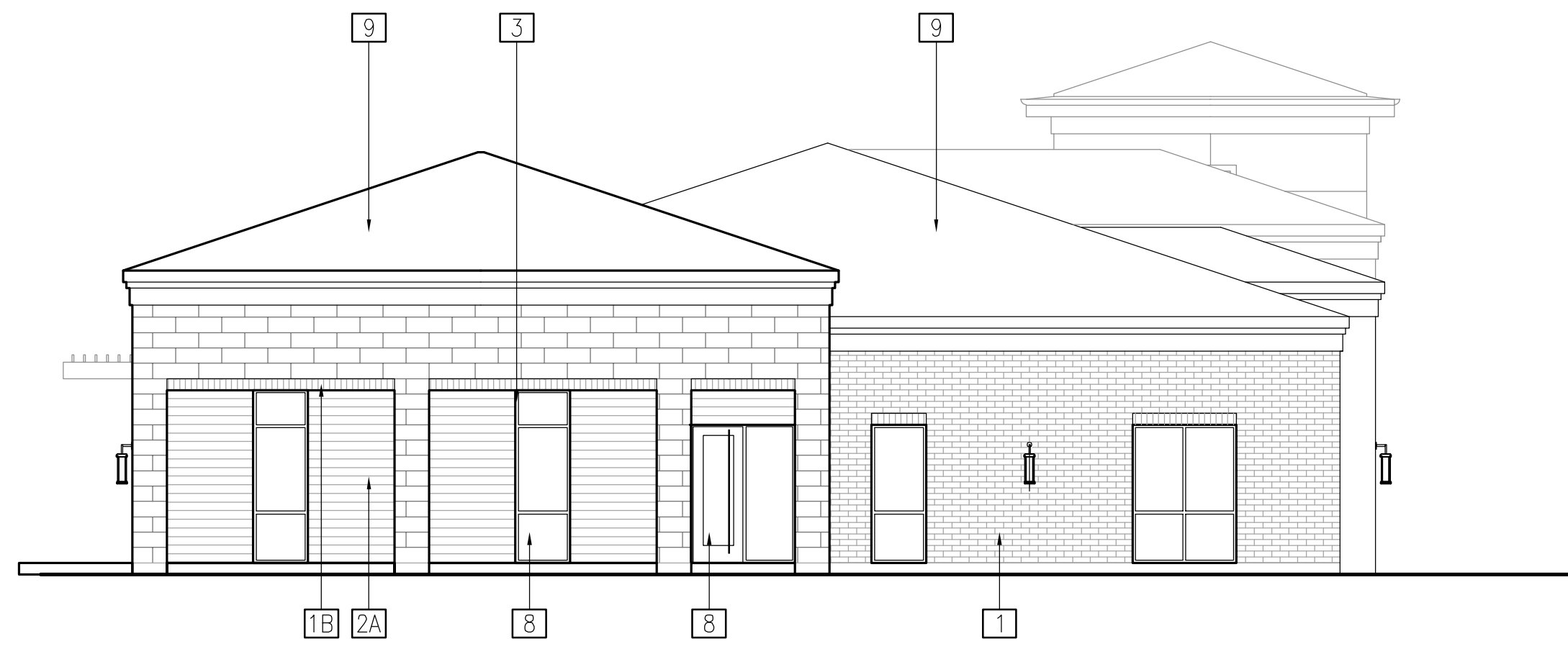
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ELEVATION KEYNOTE LEGEND:

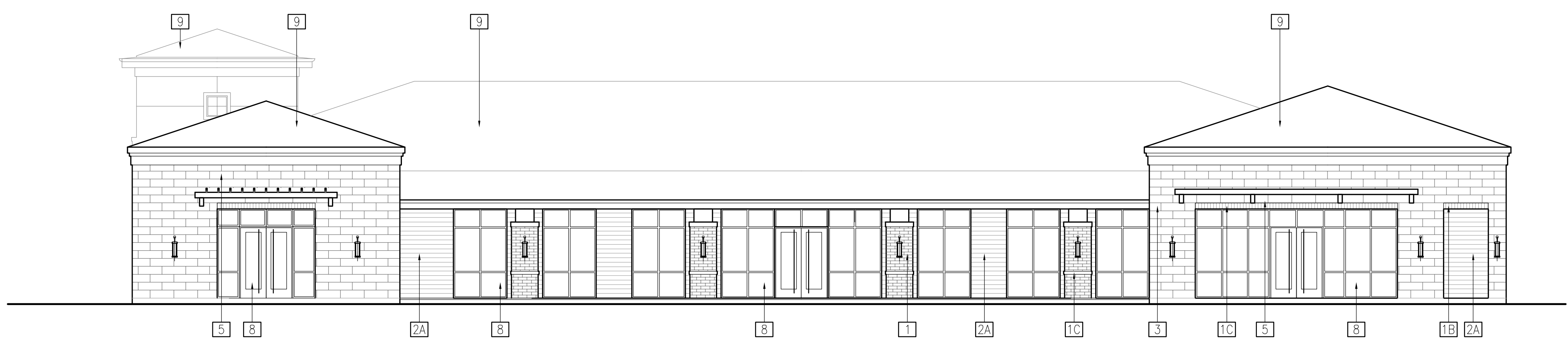
1A	BRICK VENEER
1B	BRICK SOLDIER COURSE
1C	BRICK ROWLOCK
2A	FIBER CEMENT HORIZ. LAP SIDING
2B	FIBER CEMENT TRIM
2C	FIBER CEMENT PANEL
3	LIMESTONE VENEER
4	CONCRETE PANEL
5	WOOD AWNING
6	METAL CANOPY
7	42" HT. MTL. RAILINGS W/ MTL. PICKETS
8	WINDOWS
9	COMPOSITION SHINGLE ROOF



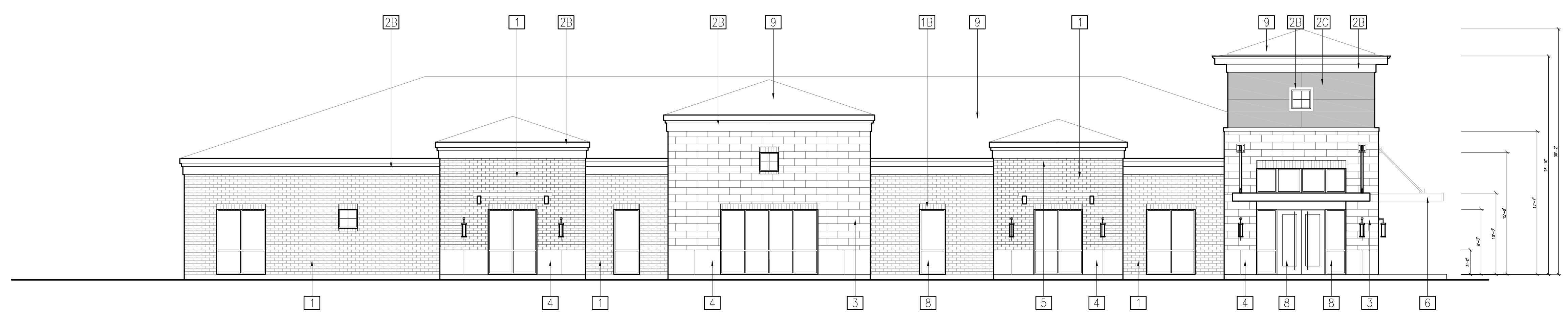
4 SIDE ELEVATION
1/8" = 1'-0"



3 SIDE ELEVATION
1/8" = 1'-0"



2 REAR ELEVATION
1/8" = 1'-0"



1 FRONT ELEVATION
1/8" = 1'-0"

100% Masonry Provided - calculations exclude balconies, patios, and openings, and are measured from finished floor to top of plate

Exhibit H-7 - Elevations

PRELIMINARY CLUBHOUSE ELEVATIONS - CORINTH ACTIVE ADULT
CORINTH, TEXAS - GREYSTAR

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A-15

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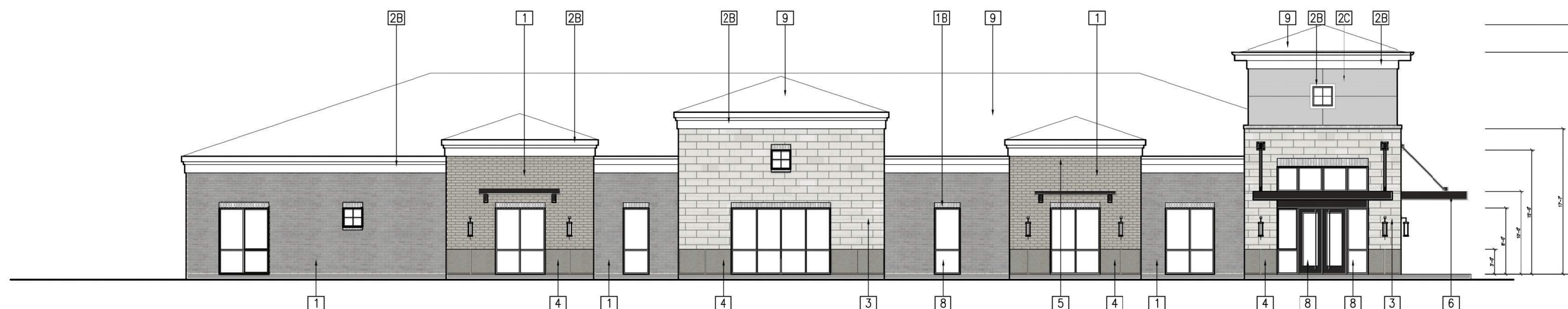
4 SIDE ELEVATION
1/8" = 1'-0"



3 SIDE ELEVATION
1/8" = 1'-0"



2 REAR ELEVATION
1/8" = 1'-0"



1 FRONT ELEVATION
1/8" = 1'-0"

ELEVATION KEYNOTE LEGEND:	
1A	BRICK VENEER
1B	BRICK SOLDIER COURSE
1C	BRICK ROWLOCK
2A	FIBER CEMENT HORIZ. LAP SIDING
2B	FIBER CEMENT TRIM
2C	FIBER CEMENT PANEL
3	LIMESTONE VENEER
4	CONCRETE PANEL
5	WOOD AWNING
6	METAL CANOPY
7	42" HT. METL. RAILINGS-W/METL. PICKETS
8	WINDOWS
9	COMPOSITION SHINGLE ROOF

100% Masonry Provided - calculations exclude balconies, patios, and openings, and are measured from finished floor to top of plate

Exhibit H-8 - Elevations

PRELIMINARY CLUBHOUSE ELEVATIONS - CORINTH ACTIVE ADULT

CORINTH, TEXAS - GREYSTAR

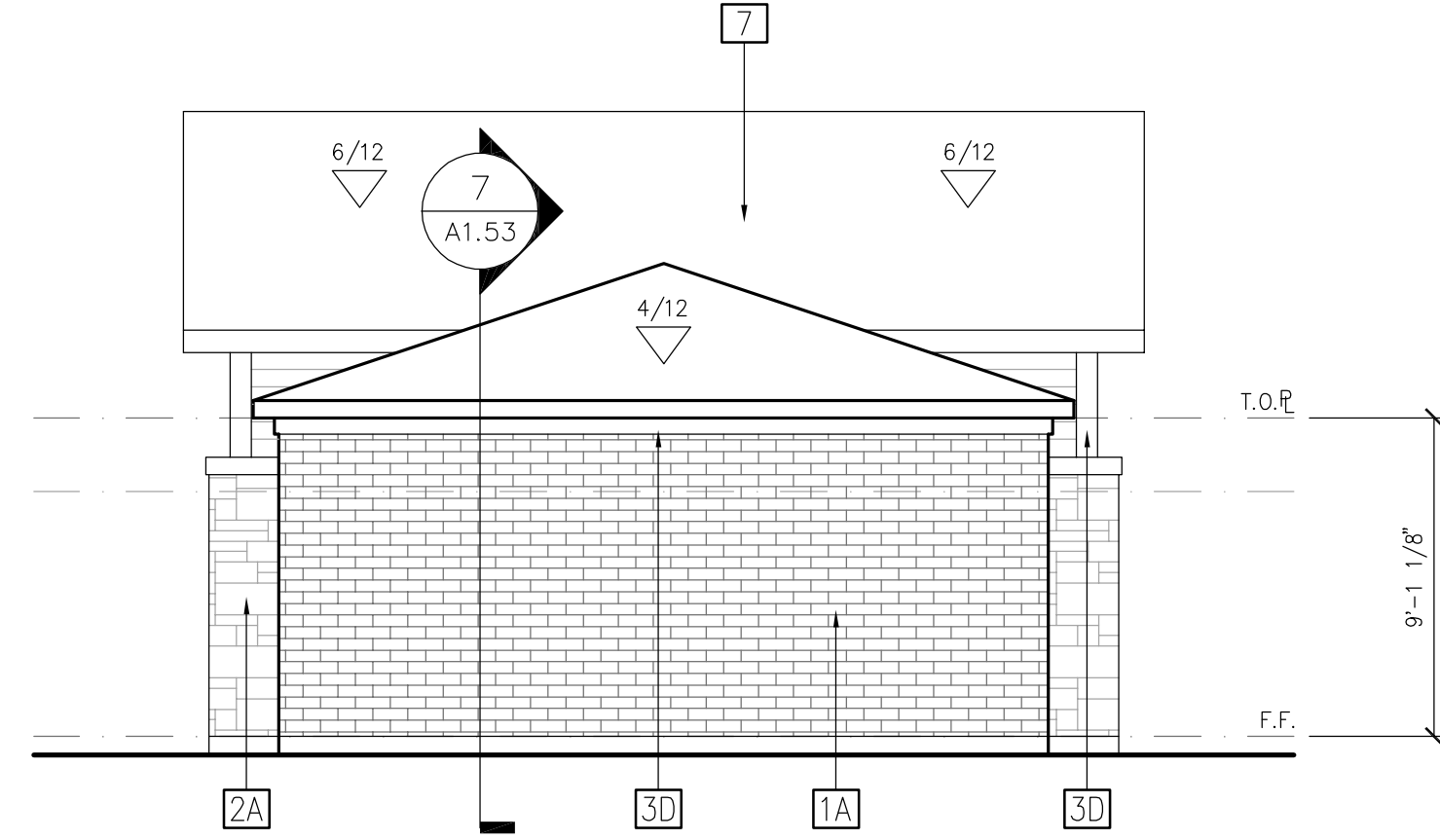
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281.558.8767

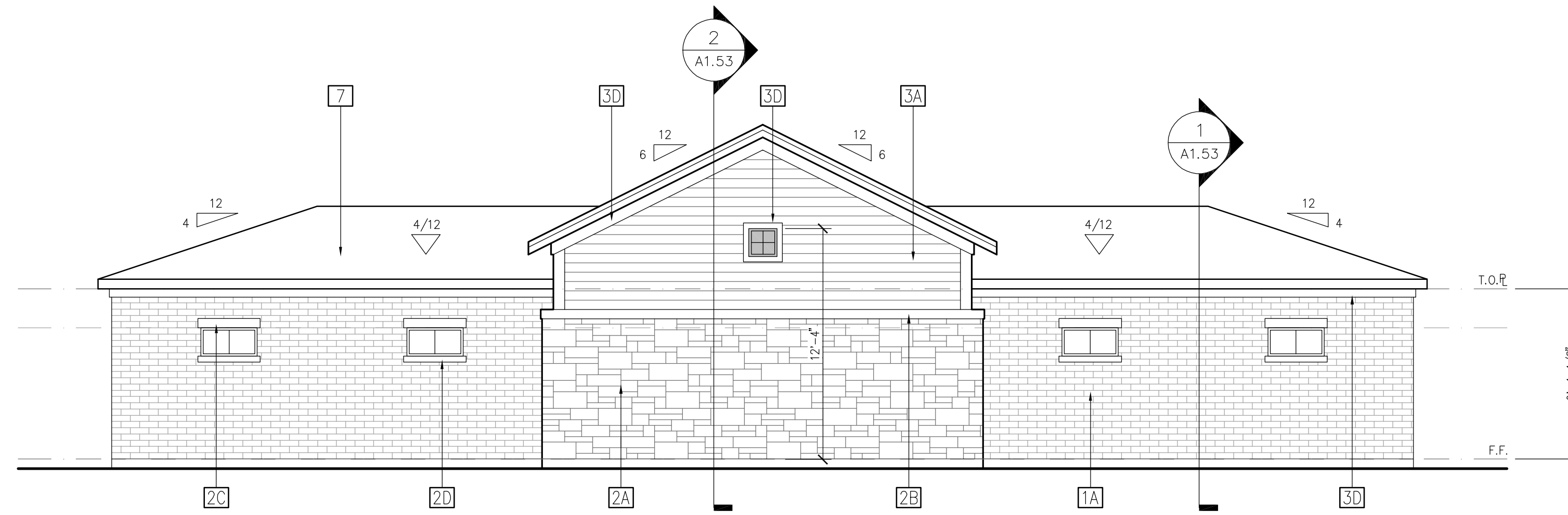
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JOB NO. 22097

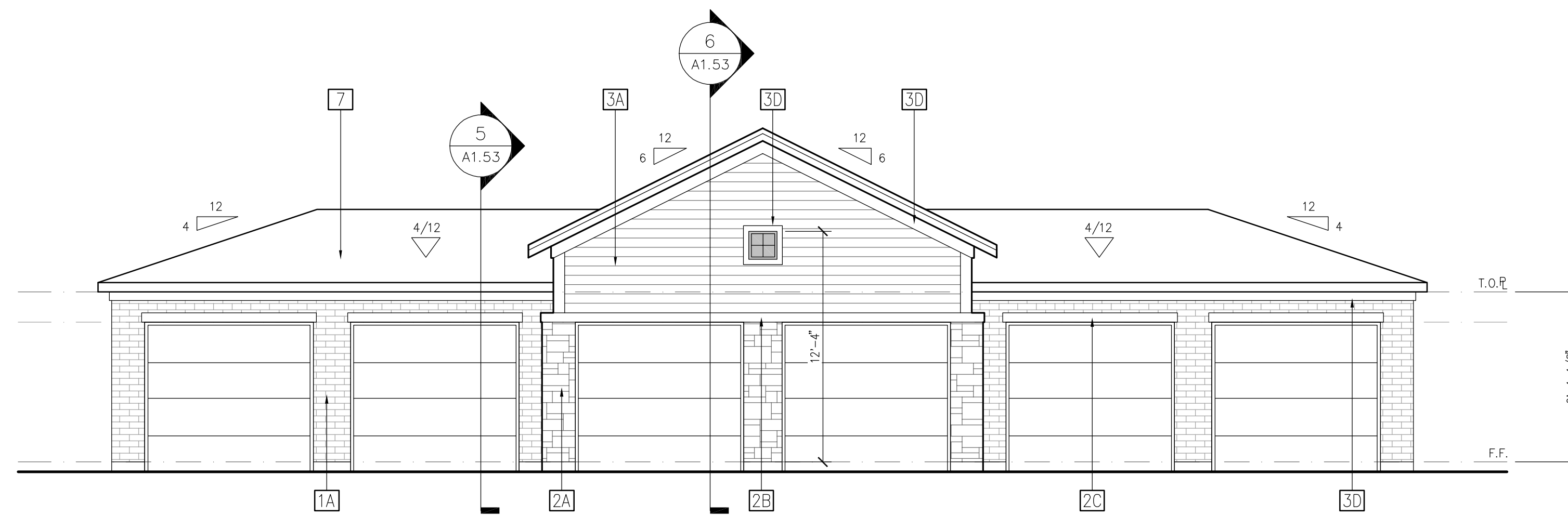
05.02.2023



3 DETACHED GARAGE TYPE I - SIDE ELEVATION
3/16" = 1'-0"



2 DETACHED GARAGE TYPE I - REAR ELEVATION
3/16" = 1'-0"



1 DETACHED GARAGE TYPE I - FRONT ELEVATION
3/16" = 1'-0"

ELEVATION KEYNOTE LEGEND:

1A	BRICK VENEER
1B	BRICK VENEER - HERRINGBONE PATTERN
1C	BRICK SOAPERS - HERRINGBONE PATTERN
1D	BRICK SOAPERS
2A	STONE VENEER
2B	STONE BAND
2C	STONE HEADER
2D	STONE SILL
2E	THIN STONE VENEER
2F	MASONRY CONTROL JOINT (RE: 1/A7.09)
3A	FIBER CEMENT HORIZ. LAP SIDING (SMOOTH FINISH)
3B	FIBER CEMENT BOARD & BATTEN SIDING (SMOOTH FINISH)
3C	FIBER CEMENT PANEL SIDING (SMOOTH FINISH)
3D	FIBER CEMENT TRIM (SMOOTH FINISH)
4	ROUGH SAWN CEDAR TRIM
5	DECO CEDAR BRACKETS
6	GUARDRAIL SYSTEM 01 - 1/2" SQ. STEEL PICKET
7	COMPOSITION SHINGLE ROOF
8	STANDING SEAM METAL ROOF AWNING
8A	METAL AWNING
9	STANDING SEAM METAL ROOF
10	STOREFRONT SYSTEM
11	DOWNSPOUT

HATCH INDICATES SPECIAL FRAMING AT SELECT WINDOWS (RE: DETAILS ON A7.16)



NO.	DATE	REVISION
	11/25/20	DESIGN DEVELOPMENT
	03/07/21	ISSUED FOR PERMIT
A	04/13/21	PERMIT RESPONSE #1
B	05/12/21	FIRE DEPARTMENT RESPONSE #1
	06/15/21	ISSUED FOR CONSTRUCTION

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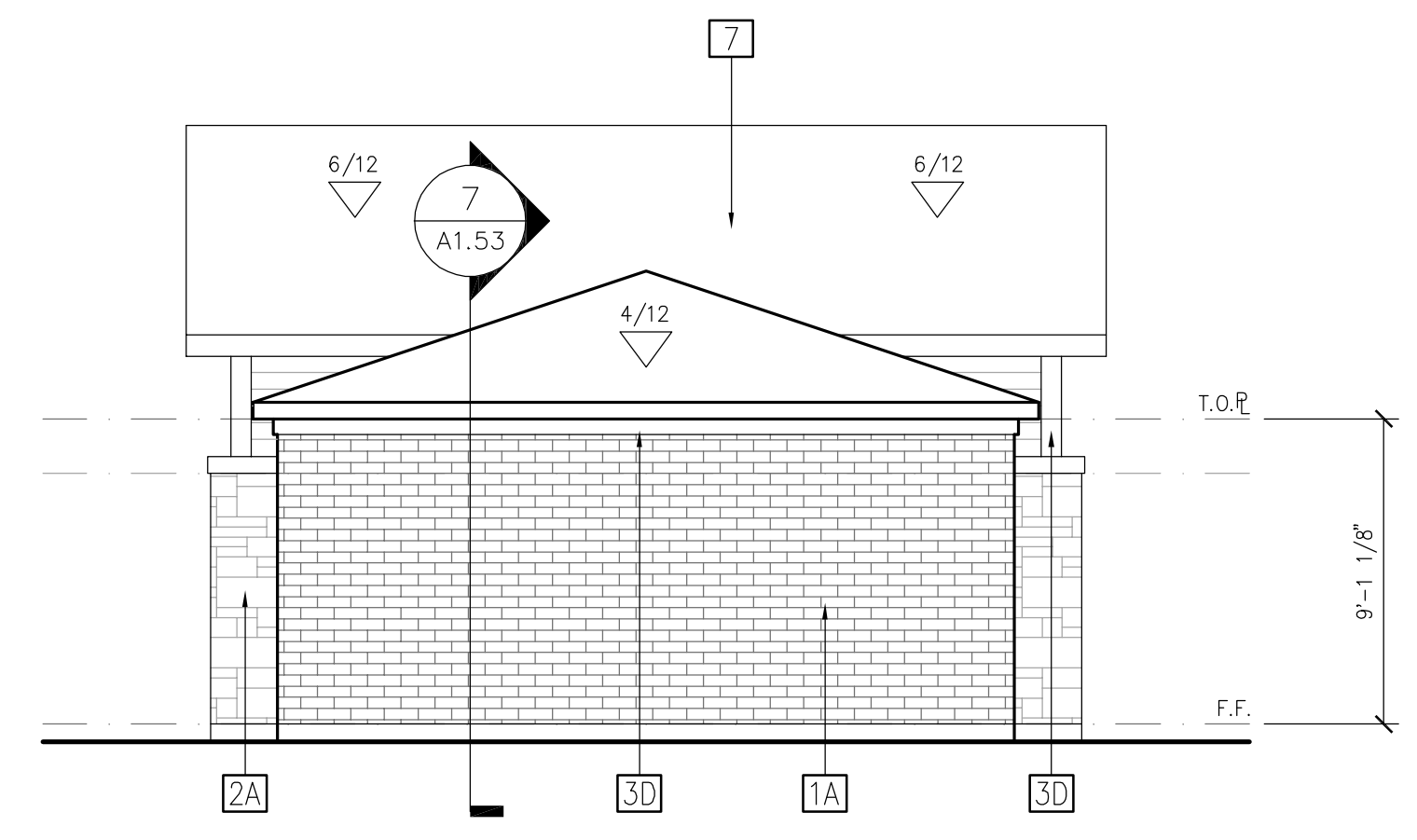
ELAN PRESERVE PHASE II
GRAPEVINE, TX
A Development of
GREYSTAR DEVELOPMENT GROUP, LP

JOB NO.:	19097
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<input type="checkbox"/>	ISSUED FOR PRICING
<input type="checkbox"/>	ISSUED FOR PERMIT
<input checked="" type="checkbox"/>	ISSUED FOR CONSTRUCTION

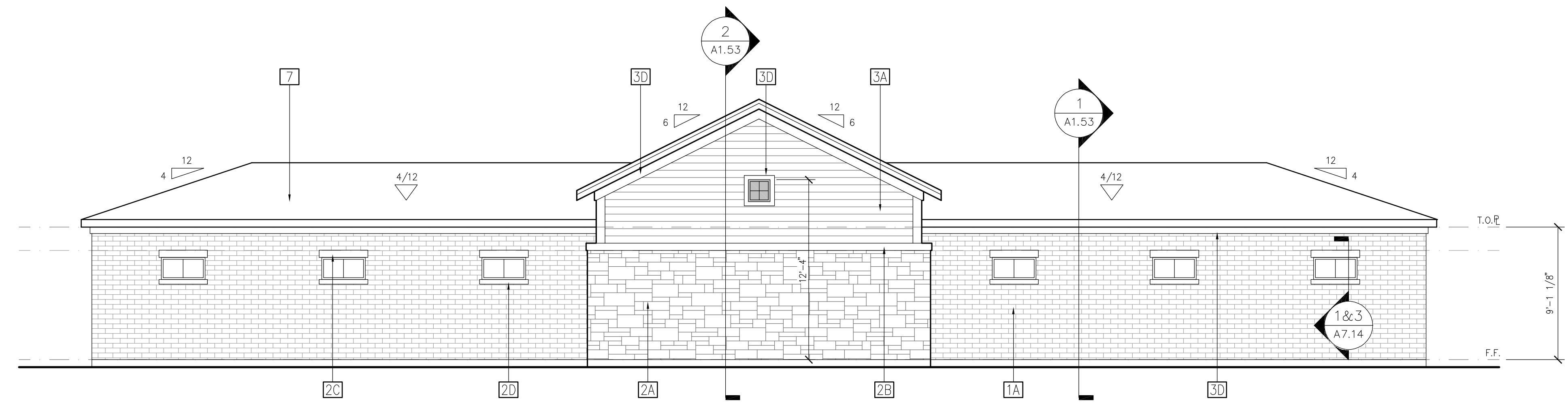
SHEET TITLE
DETACHED GARAGE TYPE I - ELEVATIONS

DRAWING NO.
A1.40

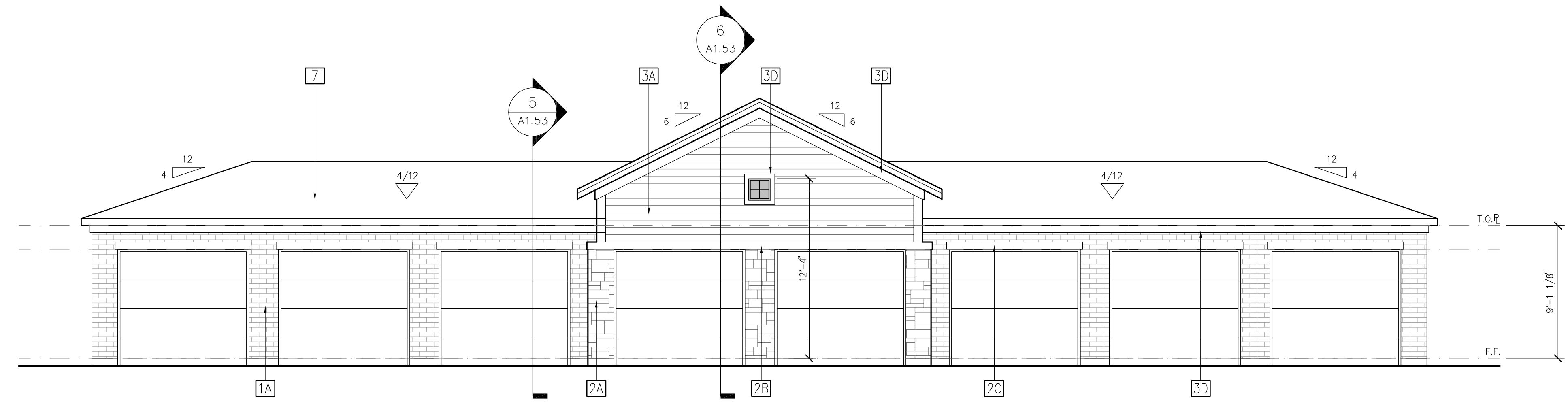
Exhibit H-9 - Elevations



3 DETACHED GARAGE TYPE II - SIDE ELEVATION
3/16"=1'-0"



2 DETACHED GARAGE TYPE II - REAR ELEVATION
3/16"=1'-0"



1 DETACHED GARAGE TYPE II - FRONT ELEVATION
3/16"=1'-0"

ELEVATION KEYNOTE LEGEND:

1A	BRICK VENEER
1B	BRICK VENEER - HERRINGBONE PATTERN
1C	BRICK SOAPERS - HERRINGBONE PATTERN
1D	BRICK SOAPERS
2A	STONE VENEER
2B	STONE BAND
2C	STONE HEADER
2D	STONE SILL
2E	THIN STONE VENEER
2F	MASONRY CONTROL JOINT (RE: 1/A7.09)
3A	FIBER CEMENT HORIZ. LAP SIDING (SMOOTH FINISH)
3B	FIBER CEMENT BOARD & BATTEN SIDING (SMOOTH FINISH)
3C	FIBER CEMENT PANEL SIDING (SMOOTH FINISH)
3D	FIBER CEMENT TRIM (SMOOTH FINISH)
4	ROUGH SAWN CEDAR TRIM
5	DECO. CEDAR BRACKETS
6	GUARDRAIL SYSTEM 01 - 1/2" SQ. STEEL PICKET
7	COMPOSITION SHINGLE ROOF
8	STANDING SEAM METAL ROOF AWNING
8A	METAL AWNING
9	STANDING SEAM METAL ROOF
10	STOREFRONT SYSTEM
11	DOWNSPOUT

HATCH INDICATES SPECIAL FRAMING AT SELECT WINDOWS (RE: DETAILS ON A7.16)



NO.	DATE	REVISION
A	04/13/21	DESIGN DEVELOPMENT
B	05/12/21	ISSUED FOR PERMIT
C	06/15/21	ISSUED FOR PERMIT
D	06/15/21	ISSUED FOR PERMIT
E	06/15/21	ISSUED FOR PERMIT
F	06/15/21	ISSUED FOR PERMIT
G	06/15/21	ISSUED FOR PERMIT
H	06/15/21	ISSUED FOR PERMIT
I	06/15/21	ISSUED FOR PERMIT
J	06/15/21	ISSUED FOR PERMIT
K	06/15/21	ISSUED FOR PERMIT
L	06/15/21	ISSUED FOR PERMIT
M	06/15/21	ISSUED FOR PERMIT
N	06/15/21	ISSUED FOR PERMIT
O	06/15/21	ISSUED FOR PERMIT
P	06/15/21	ISSUED FOR PERMIT
Q	06/15/21	ISSUED FOR PERMIT
R	06/15/21	ISSUED FOR PERMIT
S	06/15/21	ISSUED FOR PERMIT
T	06/15/21	ISSUED FOR PERMIT
U	06/15/21	ISSUED FOR PERMIT
V	06/15/21	ISSUED FOR PERMIT
W	06/15/21	ISSUED FOR PERMIT
X	06/15/21	ISSUED FOR PERMIT
Y	06/15/21	ISSUED FOR PERMIT
Z	06/15/21	ISSUED FOR PERMIT

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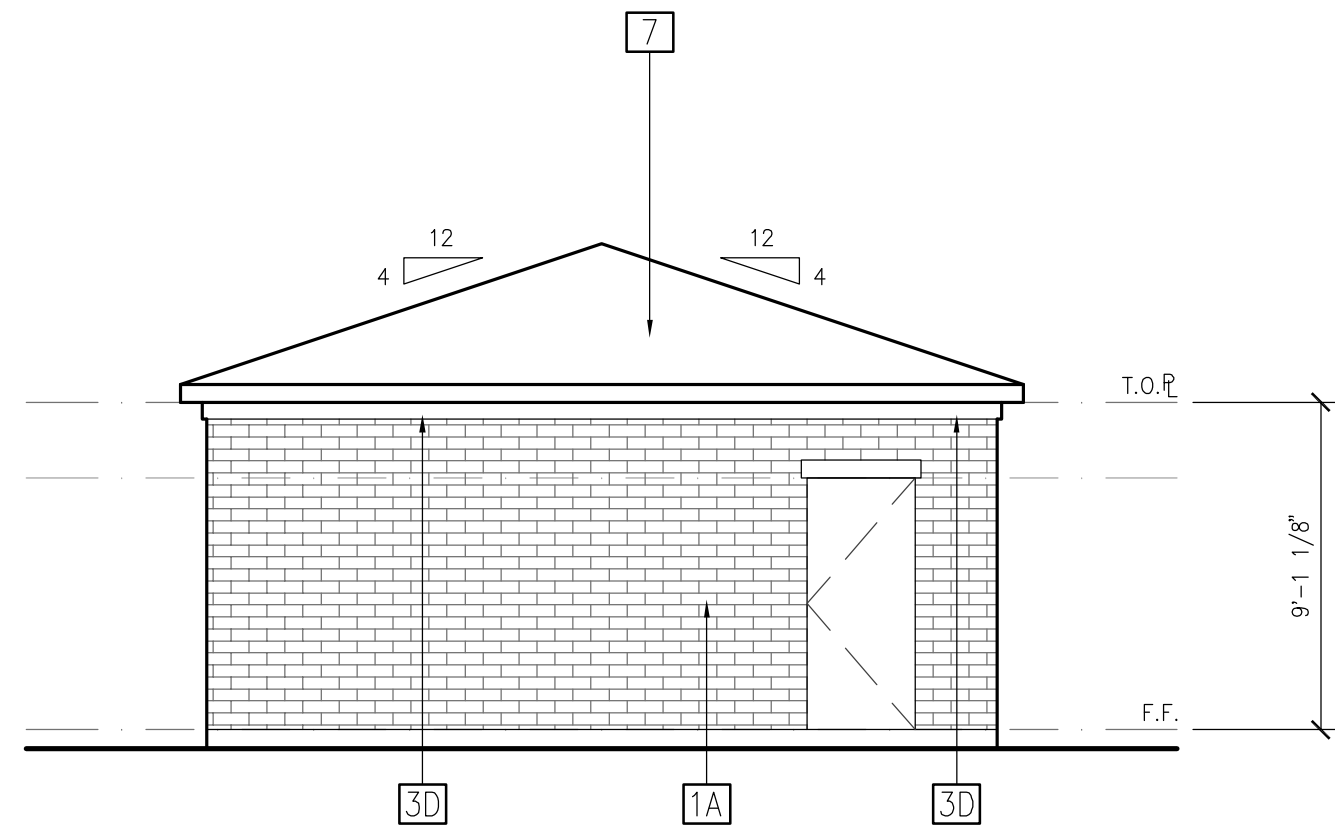
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A Development of
GREYSTAR DEVELOPMENT GROUP, LP

JOB NO.:	19097
NOT FOR CONSTRUCTION	
ISSUED FOR PRICING	
ISSUED FOR PERMIT	
X ISSUED FOR CONSTRUCTION	

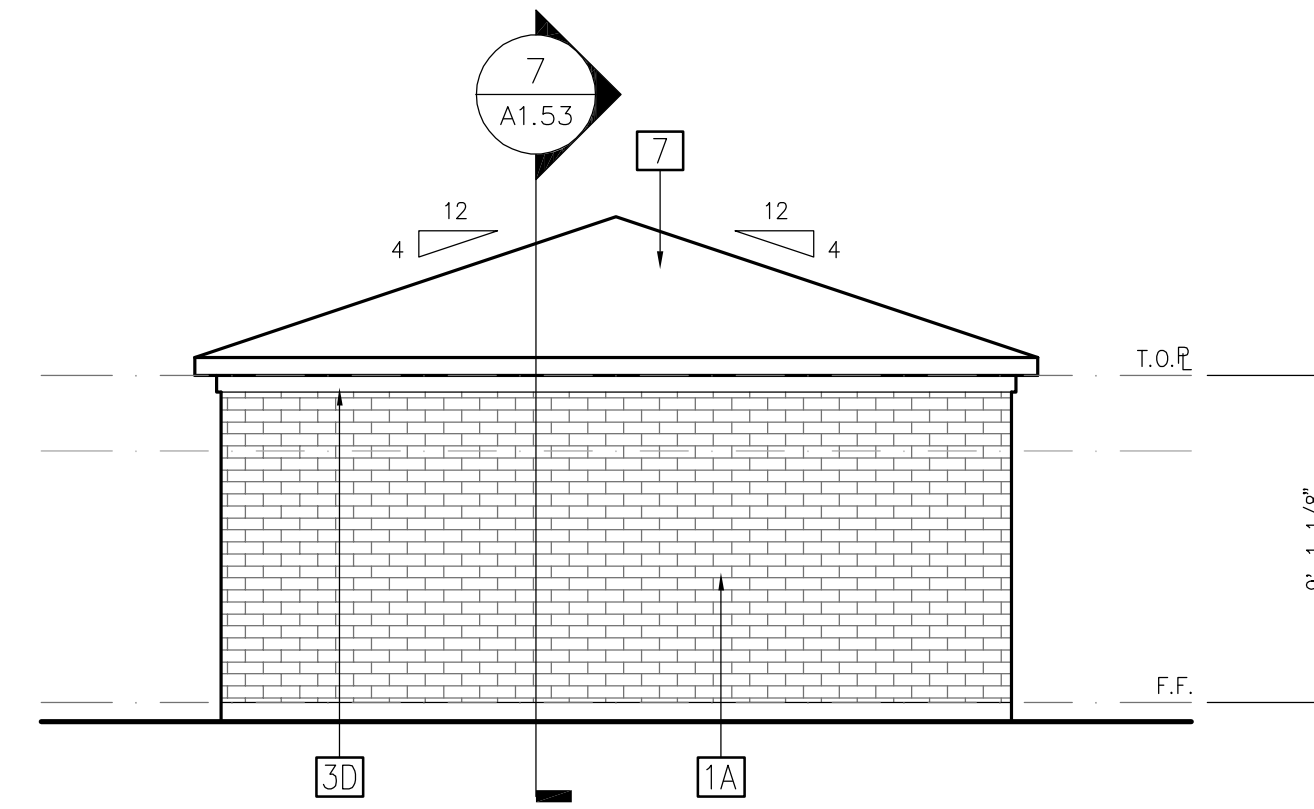
SHEET TITLE
DETACHED GARAGE TYPE II - ELEVATIONS

DRAWING NO.
A1.42

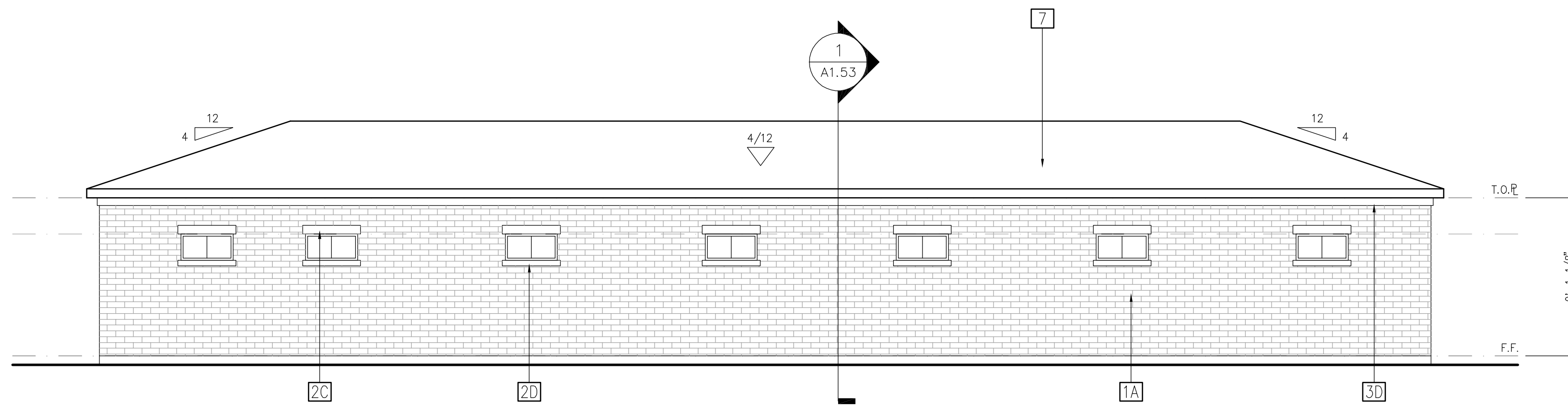
Exhibit H-10 - Elevations



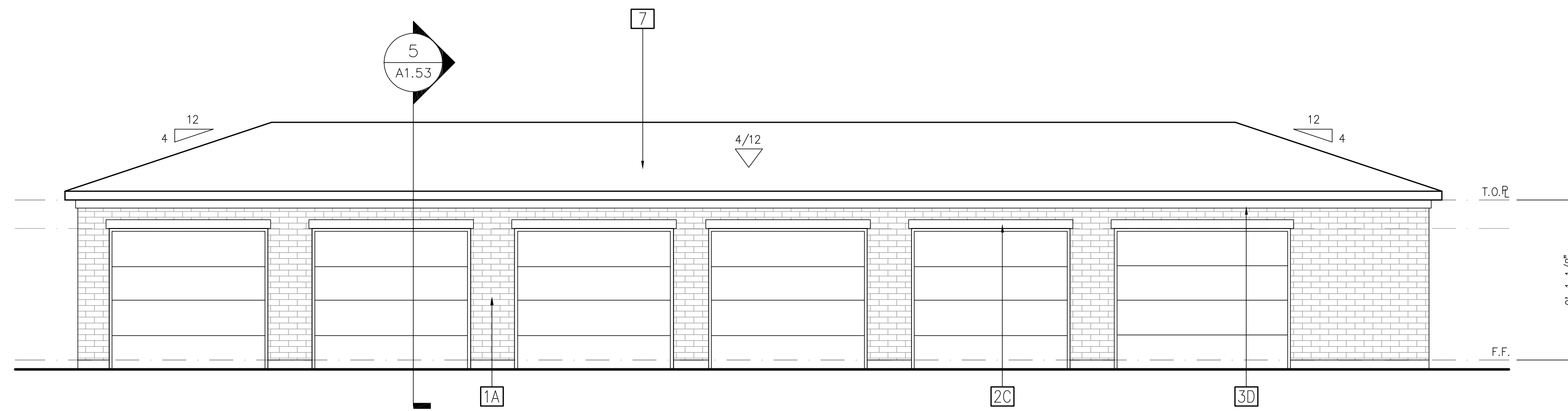
4 DETACHED GARAGET TYPE III - SIDE ELEVATION
3/16"=1'-0"



3 DETACHED GARAGET TYPE III - SIDE ELEVATION
3/16"=1'-0"



2 DETACHED GARAGET TYPE III - REAR ELEVATION
3/16"=1'-0"



1 DETACHED GARAGET TYPE III - FRONT ELEVATION
3/16"=1'-0"

ELEVATION KEYNOTE LEGEND:

1A	BRICK VENEER
1B	BRICK VENEER - HERRINGBONE PATTERN
1C	BRICK SOAPERS - HERRINGBONE PATTERN
1D	BRICK SOAPERS
2A	STONE VENEER
2B	STONE BAND
2C	STONE HEADER
2D	STONE SILL
2E	THIN STONE VENEER
2F	MASONRY CONTROL JOINT (RE: 1/A7.09)
3A	FIBER CEMENT HORIZ. LAP SIDING (SMOOTH FINISH)
3B	FIBER CEMENT BOARD & BATTEN SIDING (SMOOTH FINISH)
3C	FIBER CEMENT PANEL SIDING (SMOOTH FINISH)
3D	FIBER CEMENT TRIM (SMOOTH FINISH)
4	ROUGH SAWN CEDAR TRIM
5	DECO. CEDAR BRACKETS
6	GUARDRAIL SYSTEM 01 - 1/2" SQ. STEEL PICKET
7	COMPOSITION SHINGLE ROOF
8	STANDING SEAM METAL ROOF AWNING
8A	METAL AWNING
9	STANDING SEAM METAL ROOF
10	STOREFRONT SYSTEM
11	DOWNSPOUT

HATCH INDICATES SPECIAL FRAMING AT SELECT WINDOWS (RE: DETAILS ON A7.16)



NO.	DATE	REVISION
	11/25/20	DESIGN DEVELOPMENT
A	03/07/21	ISSUED FOR PERMIT
B	04/13/21	PERMIT RESPONSE #1
	05/12/21	FIRE DEPARTMENT RESPONSE #1
	06/15/21	ISSUED FOR CONSTRUCTION

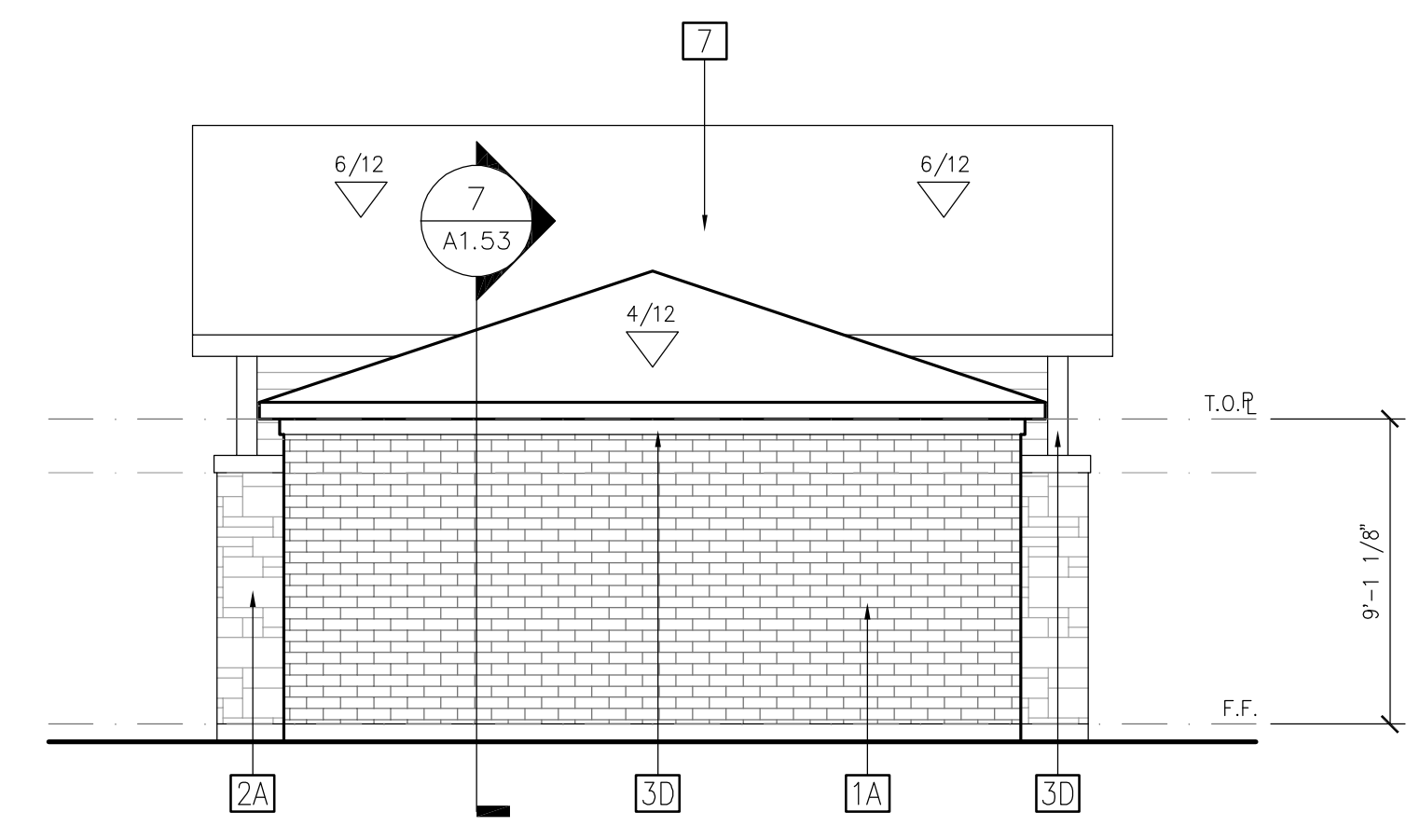
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Houston, Texas 77079
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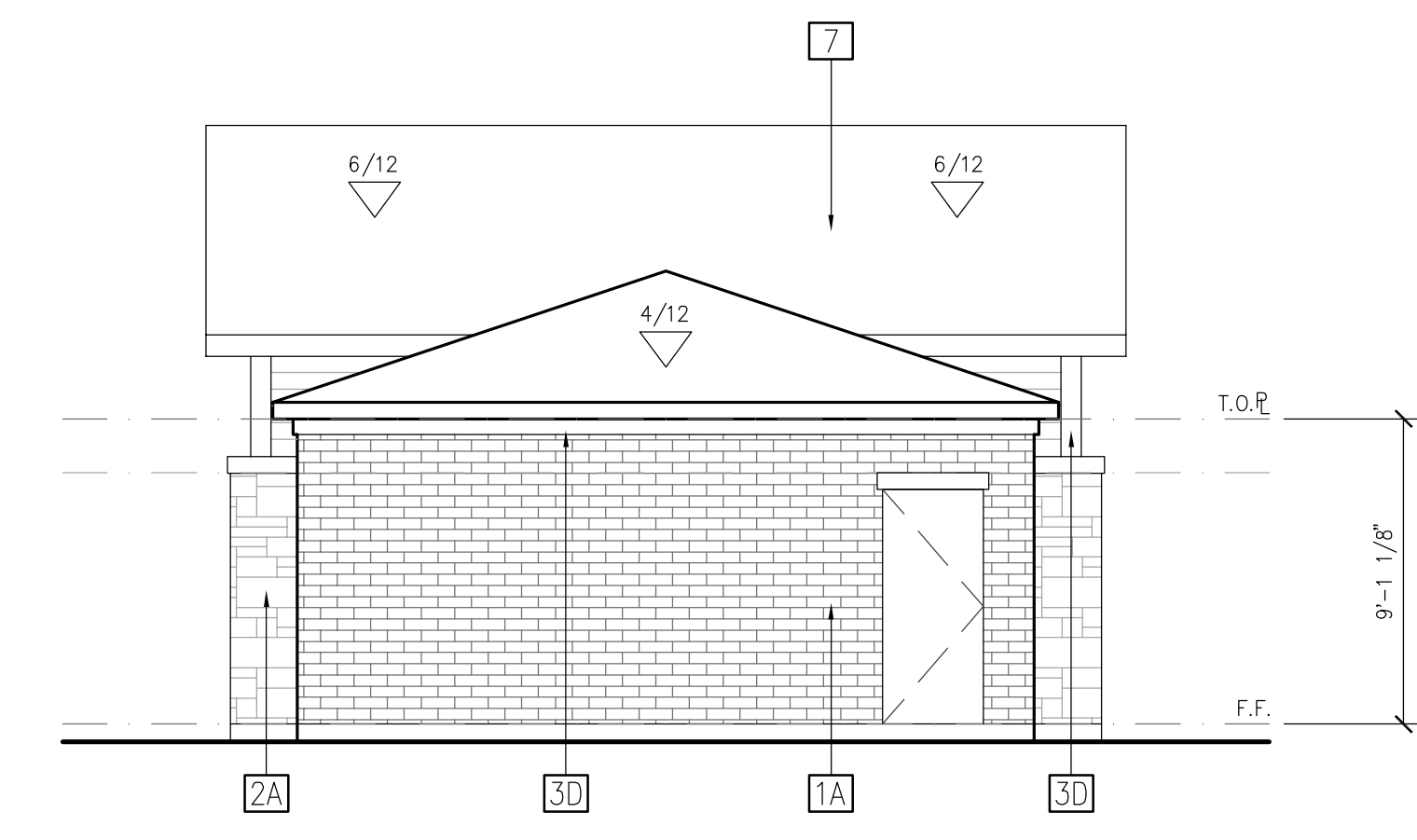
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NOT FOR CONSTRUCTION	
ISSUED FOR PRICING	
ISSUED FOR PERMIT	
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SHEET TITLE
DETACHED GARAGE TYPE III - ELEVATIONS
DRAWING NO.
A1.44

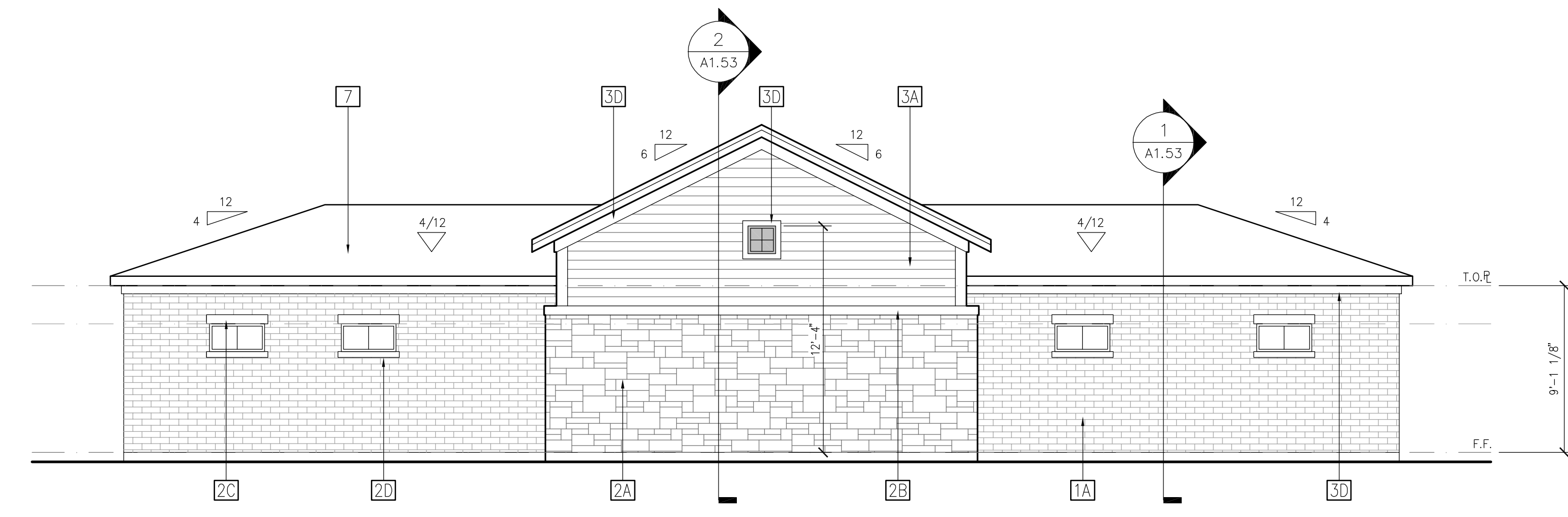
Exhibit H-11 - Elevations



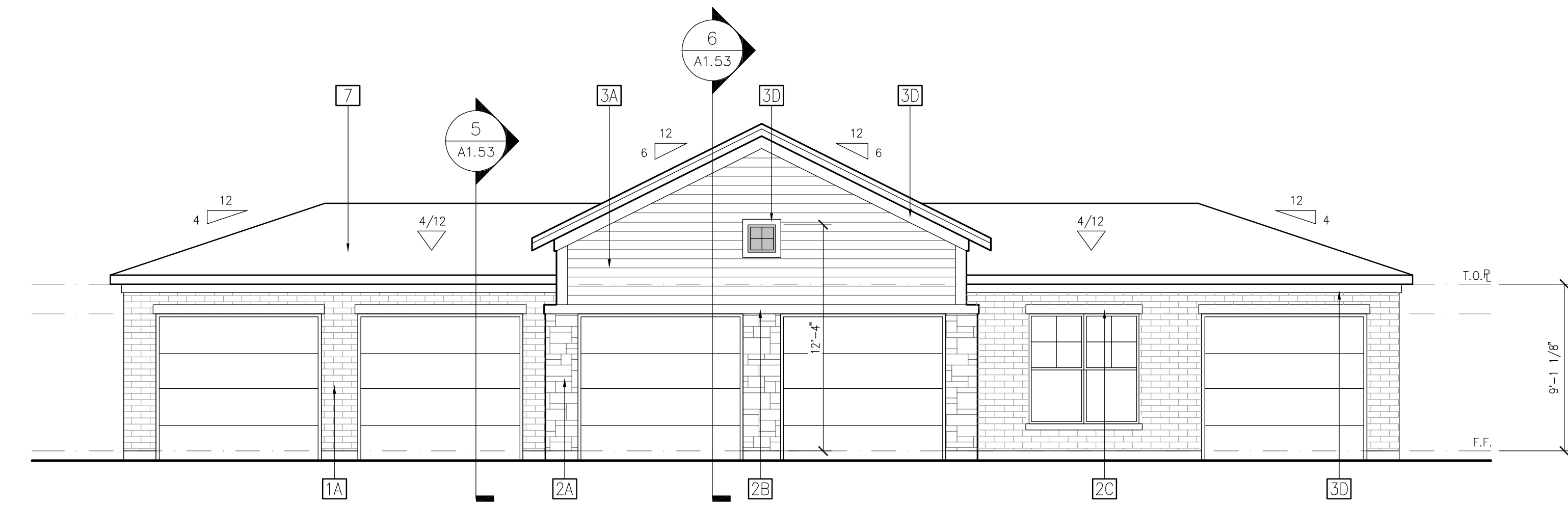
4 DETACHED GARAGE TYPE IV - SIDE ELEVATION
3/16"=1'-0"



3 DETACHED GARAGE TYPE IV - SIDE ELEVATION
3/16"=1'-0"



2 DETACHED GARAGE TYPE IV - REAR ELEVATION
3/16"=1'-0"

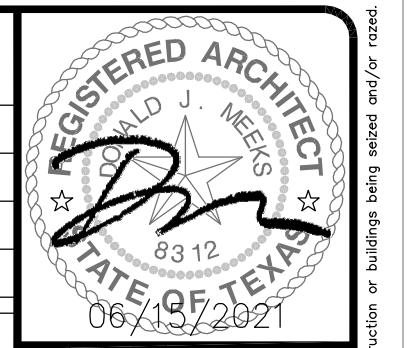


1 DETACHED GARAGE TYPE IV - FRONT ELEVATION
3/16"=1'-0"

ELEVATION KEYNOTE LEGEND:

1A	BRICK VENEER
1B	BRICK VENEER - HERRINGBONE PATTERN
1C	BRICK SOAPERS - HERRINGBONE PATTERN
1D	BRICK SOAPERS
2A	STONE VENEER
2B	STONE BAND
2C	STONE HEADER
2D	STONE SILL
2E	THIN STONE VENEER
2F	MASONRY CONTROL JOINT (RE: 1/A7.09)
3A	FIBER CEMENT HORIZ. LAP SIDING (SMOOTH FINISH)
3B	FIBER CEMENT BOARD & BATTEN SIDING (SMOOTH FINISH)
3C	FIBER CEMENT PANEL SIDING (SMOOTH FINISH)
3D	FIBER CEMENT TRIM (SMOOTH FINISH)
4	ROUGH SAWN CEDAR TRIM
5	DECO. CEDAR BRACKETS
6	GUARDRAIL SYSTEM 01 - 1/2" SQ. STEEL PICKET
7	COMPOSITION SHINGLE ROOF
8	STANDING SEAM METAL ROOF AWNING
8A	METAL AWNING
9	STANDING SEAM METAL ROOF
10	STOREFRONT SYSTEM
11	DOWNSPOUT

HATCH INDICATES SPECIAL FRAMING AT SELECT WINDOWS (RE: DETAILS ON A7.16)



NO.	DATE	REVISION
	11/25/20	DESIGN DEVELOPMENT
A	03/01/21	ISSUED FOR PERMIT
B	04/13/21	PERMIT RESPONSE #1
	05/12/21	FIRE DEPARTMENT RESPONSE #1
	06/15/21	ISSUED FOR CONSTRUCTION

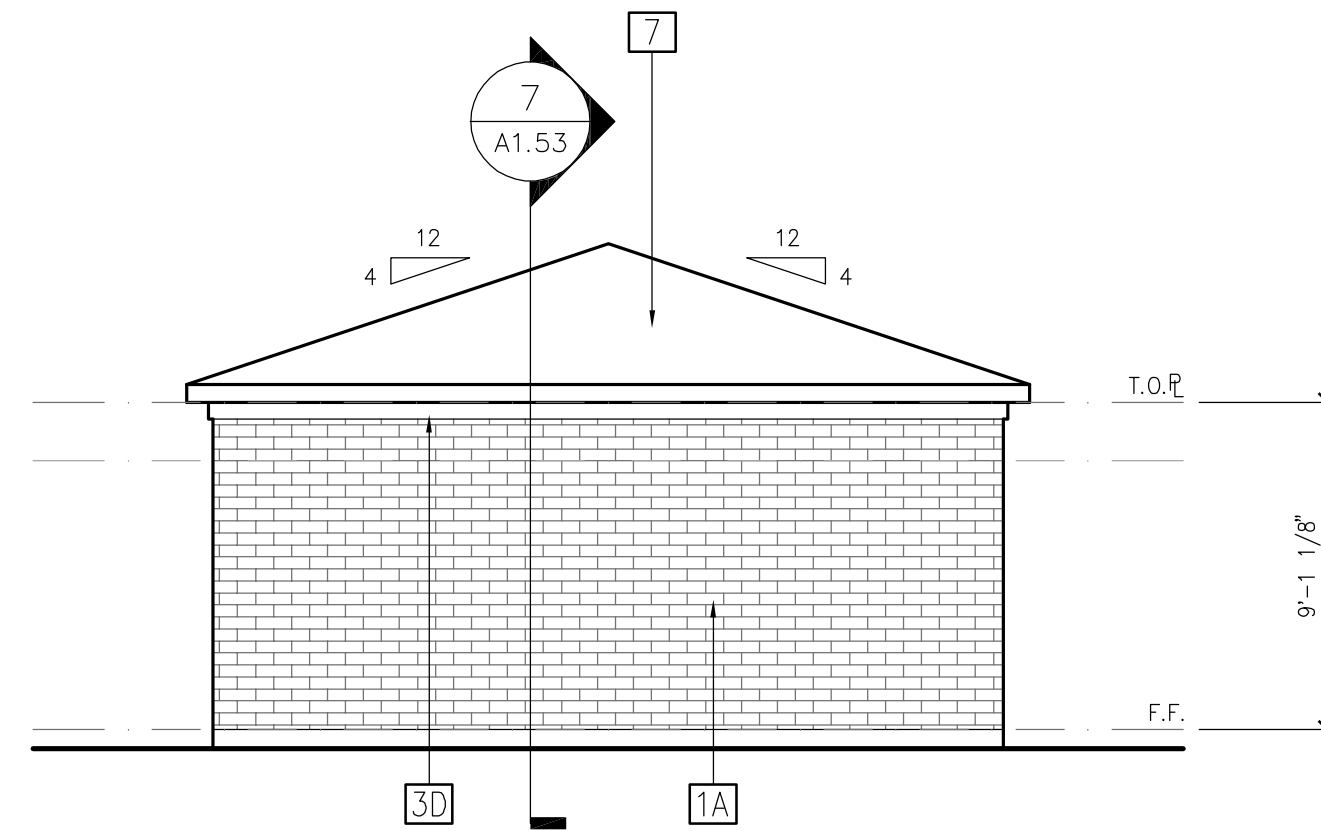
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ELAN PRESERVE PHASE II
GRAPEVINE, TX
A Development of
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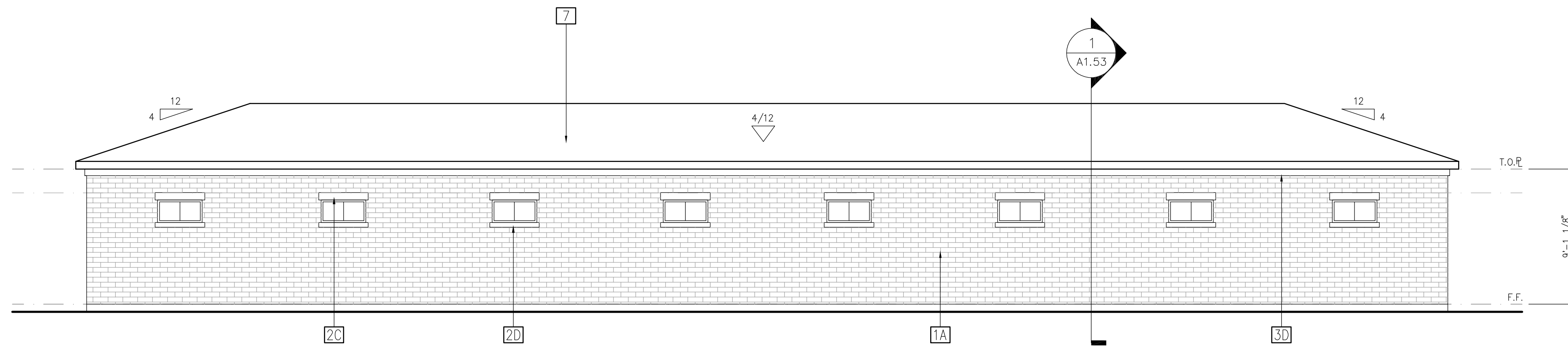
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NOT FOR CONSTRUCTION	
ISSUED FOR PRICING	
ISSUED FOR PERMIT	
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SHEET TITLE
DETACHED GARAGE TYPE IV - ELEVATIONS
DRAWING NO.
A1.46

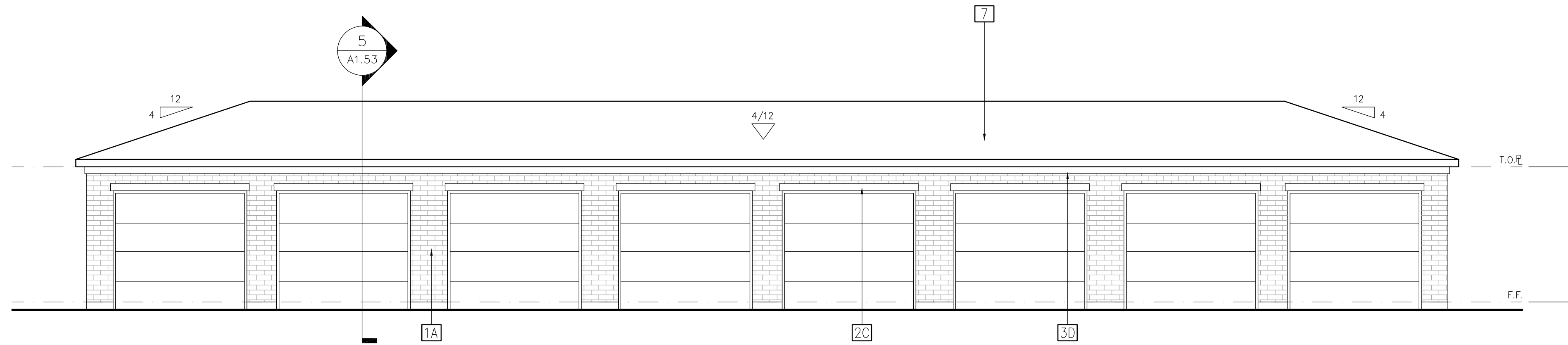
Exhibit H-12 - Elevations



3 DETACHED GARAGET TYPE V - SIDE ELEVATION
3/16"=1'-0"



2 DETACHED GARAGET TYPE V - REAR ELEVATION
3/16"=1'-0"



1 DETACHED GARAGET TYPE V - FRONT ELEVATION
3/16"=1'-0"

ELEVATION KEYNOTE LEGEND:

1A	BRICK VENEER
1B	BRICK VENEER - HERRINGBONE PATTERN
1C	BRICK SOAPERS - HERRINGBONE PATTERN
1D	BRICK SOAPERS
2A	STONE VENEER
2B	STONE BAND
2C	STONE HEADER
2D	STONE SILL
2E	THIN STONE VENEER
2F	MASONRY CONTROL JOINT (RE: 1/A7.09)
3A	FIBER CEMENT HORIZ. LAP SIDING (SMOOTH FINISH)
3B	FIBER CEMENT BOARD & BATTEN SIDING (SMOOTH FINISH)
3C	FIBER CEMENT PANEL SIDING (SMOOTH FINISH)
3D	FIBER CEMENT TRIM (SMOOTH FINISH)
4	ROUGH SAWN CEDAR TRIM
5	DECO. CEDAR BRACKETS
6	GUARDRAIL SYSTEM 01 - 1/2" SQ. STEEL PICKET
7	COMPOSITION SHINGLE ROOF
8	STANDING SEAM METAL ROOF AWNING
8A	METAL AWNING
9	STANDING SEAM METAL ROOF
10	STOREFRONT SYSTEM
11	DOWNSPOUT

HATCH INDICATES SPECIAL FRAMING AT SELECT WINDOWS (RE: DETAILS ON A7.16)



NO.	DATE	REVISION
	11/25/20	DESIGN DEVELOPMENT
	03/01/21	ISSUED FOR PERMIT
A	04/13/21	PERMIT RESPONSE #1
B	05/12/21	FIRE DEPARTMENT RESPONSE #1
	06/15/21	ISSUED FOR CONSTRUCTION

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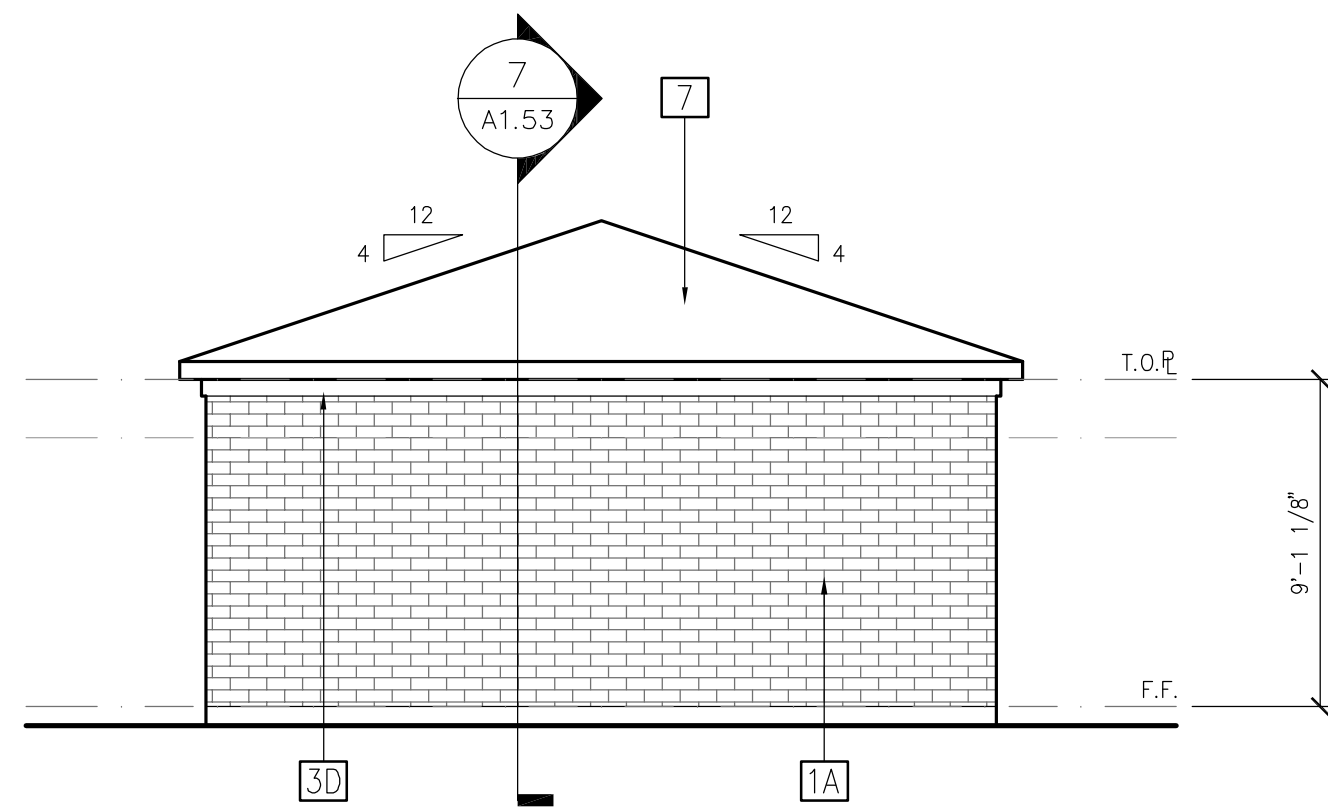
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GRAPEVINE, TX
A Development of
GREYSTAR DEVELOPMENT GROUP, LP

JOB NO.:	19097
NOT FOR CONSTRUCTION	
ISSUED FOR PRICING	
ISSUED FOR PERMIT	
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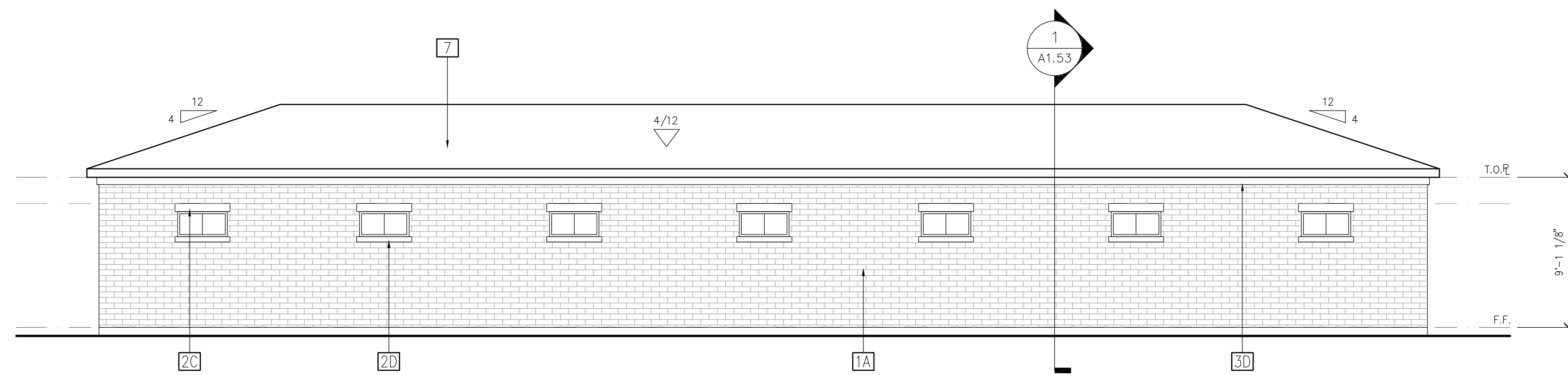
SHEET TITLE
DETACHED GARAGE TYPE V - ELEVATIONS

DRAWING NO.
A1.48

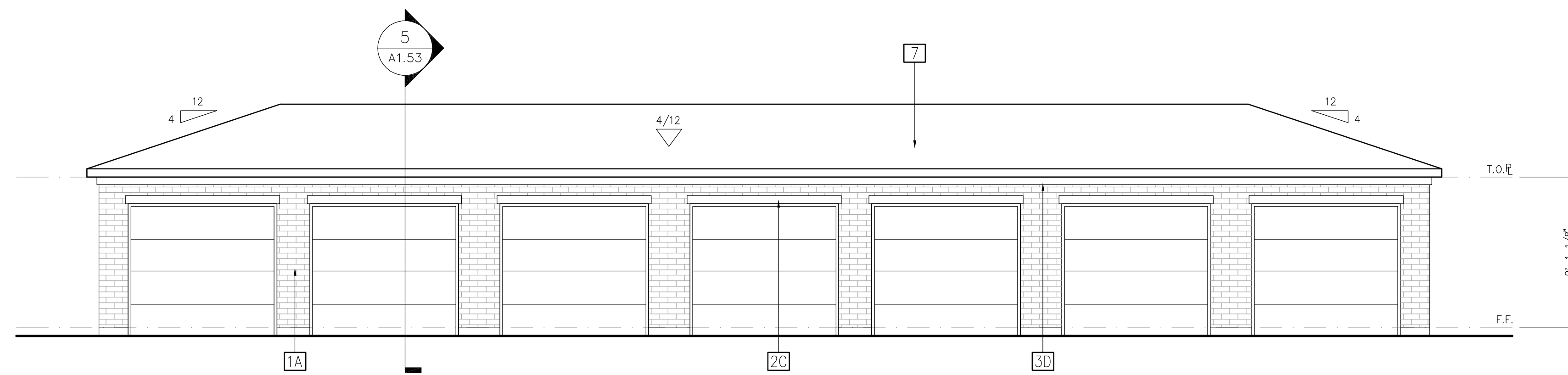
Exhibit H-13 - Elevations



3 DETACHED GARAGET TYPE VI - SIDE ELEVATION
3/16"=1'-0"



2 DETACHED GARAGET TYPE VI - REAR ELEVATION
3/16"=1'-0"



1 DETACHED GARAGET TYPE VI - FRONT ELEVATION
3/16"=1'-0"

ELEVATION KEYNOTE LEGEND:

1A	BRICK VENEER
1B	BRICK VENEER - HERRINGBONE PATTERN
1C	BRICK SOAPERS - HERRINGBONE PATTERN
1D	BRICK SOAPERS
2A	STONE VENEER
2B	STONE BAND
2C	STONE HEADER
2D	STONE SILL
2E	THIN STONE VENEER
2F	MASONRY CONTROL JOINT (RE: 1/A7.09)
3A	FIBER CEMENT HORIZ. LAP SIDING (SMOOTH FINISH)
3B	FIBER CEMENT BOARD & BATTEN SIDING (SMOOTH FINISH)
3C	FIBER CEMENT PANEL SIDING (SMOOTH FINISH)
3D	FIBER CEMENT TRIM (SMOOTH FINISH)
4	ROUGH SAWN CEDAR TRIM
5	DECO. CEDAR BRACKETS
6	GUARDRAIL SYSTEM 01 - 1/2" SQ. STEEL PICKET
7	COMPOSITION SHINGLE ROOF
8	STANDING SEAM METAL ROOF AWNING
8A	METAL AWNING
9	STANDING SEAM METAL ROOF
10	STOREFRONT SYSTEM
11	DOWNSPOUT

HATCH INDICATES SPECIAL FRAMING AT SELECT WINDOWS (RE: DETAILS ON A7.16)



NO.	DATE	REVISION
	11/25/20	DESIGN DEVELOPMENT
	03/01/21	ISSUED FOR PERMIT
A	04/13/21	PERMIT RESPONSE #1
B	05/12/21	FIRE DEPARTMENT RESPONSE #1
	06/15/21	ISSUED FOR CONSTRUCTION

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GRAPEVINE, TX
A Development of
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JOB NO.:	19097
NOT FOR CONSTRUCTION	
ISSUED FOR PRICING	
ISSUED FOR PERMIT	
<input checked="" type="checkbox"/> ISSUED FOR CONSTRUCTION	

SHEET TITLE
DETACHED GARAGE TYPE VI - ELEVATIONS
DRAWING NO.
A1.50

Exhibit H-14 - Elevations



OFFICIAL USE:
Case Number: PDA23-0008
Fees Paid: N/A

Site Address (Attach Location Map): 2010 CORINTH PARKWAY
 Approved PD: PD-67
 Name (Applicant/Authorized Agent): Mycoskie & Associates, Inc.
 Applicant Signature: 

Minor PD, Planned Development Amendment Application*

In accordance with UDC Section 2.10.09.D.1., The Director of Planning and Development may administratively approve or defer to City Council a Minor PD Amendment and Adjustment to the Planned Development Ordinance.

* Please also complete and attach a [Universal Planning Application](#).

APPLICANT MODIFICATION/AMENDMENT REQUEST:
PD to be Amended: PD-67 Bridgeview

DIRECTIONS:

Describe the requested modification(s)/amendment to the requirements of the Approved PD Ordinance in the space provided below. Be specific. Provide accompanying exhibits when applicable.

REQUEST:

To amend Exhibit "F" – Bridgeview PD Development Standards to reflect the following changes (new text in red):

- Amend Section 2.J. Residential Adjacency Standards: **UDC Section 2.09.05 Residential Adjacency Standards shall not apply.**

***Justification:** These standards were inadvertently included in the original PD and are not applicable given that the single-family zoned properties to the east and south are dedicated for public parks and shall not be developed for single-family use.*

- Amend Section 2.E to include the following: **UDC Subsection 2.09.01.B.1.e shall apply except that decorative gravel shall be allowed as a ground cover material as depicted on Exhibit "E" PD Landscape Plan.**

***Justification:** To reduce the amount of impervious cover/hardscape we have proposed, we are proposing to soften our courtyard with areas of decorative gravel to be used for lounge and connections between spaces. This also allows us to blend our planting beds with these spaces to create a seamless connection instead the hard break that would come with hardscape materials and steel edging.*

- Amend Section 2.E to include the following: **UDC Subsection 2.09.01.E.1 shall apply except artificial turf may be utilized in areas as depicted on Exhibit "E" PD Landscape Plan.**

***Justification:** Artificial turf will be used in amenity areas around the putting green/pickle bar area and near the pool area.*

4. Amend Section 2.E.2.a. to read as follows: A **variable width** landscaped strip, **excluding driveway areas, as depicted on Exhibit “E” PD Landscape Plan** shall be provided along all facades of each building as measured from the foundation. The landscaped strip area shall be planted at a minimum rate of one (1) Ornamental tree and eight (8) shrubs (may include a mix of evergreen and deciduous) per ground floor unit and may **be** grouped along the façade to create rhythm, variety, and visual interest along the length of each façade. **Where the prescribed planting rate cannot reasonably be accommodated within the variable width landscape strip, required plantings may be installed outside the landscape strip as depicted on Exhibit “E” PD Landscape Plan.**

Justification: *The landscape strip as currently designed varies in width along all facades. Changed language to variable width and excluding garage driveways.*

5. Amend Section 2.E.2.e. to read as follows: A landscape edge buffer consisting of large evergreen shrubs that will create a vertical opaque buffer shall be installed between the **drive aisle/parking** and the eastern property line to create a defined edge between the multifamily complex and the adjacent public open space active fields.

Justification: *Modified language to remove reference to grasscrete drive.*

6. Amend Section 2.G. to read as follows: UDC Section 2.09.03 Vehicular Parking Regulations shall apply, except as modified in Table B – Parking Requirements below:

Regulation	Base Regulation by Use	Proposed Parking Standards/Modifications
Multi-Family Parking Standard	1 space/DU + 1 additional space/bedroom	208 spaces (1.14 spaces/DU)
Residential Cottage Parking Standard	1 space/DU + 1 additional space/bedroom	32 spaces (2 spaces/DU)
Non-Residential	1 space/200 SF	None required
* On-street parking adjacent to Corinth Parkway shall not be used to satisfy residential parking requirements.		

Justification: *The on-site parking has been revised to show 240 spaces for the Senior Living Development (1.21 PS per unit) and the site has access to parallel public on-street parking along Corinth Parkway. 32 garage spaces are reserved for the residential cottages.*

Per the Institute of Transportation Engineers Parking Generation Manual- 4th Edition, Senior adult housing consists of attached independent living developments including, retirement communities, age-restricted housing and active adult communities. These developments may include limited social or recreational services. However, they generally lack centralized dining and on-site medical facilities. Residents in these communities live independently, are typically active (requiring little to no medical supervision) and may or may not be retired. The ITE database consisted of all suburban sites with an average parking supply ratio of 1.0 spaces per dwelling unit.

A parking ratio comparison was made with similar senior living developments in the region. The parking ratios range from 1.17 to 1.52. The subset included the following developments:

Parking Ratio Comparisons				
City	Project Name	UNITS	PARKING	Ratio
Arlington	Overture at Arlington Highlands	167	216	1.29
Arlington	The Orchards at Arlington Highlands	180	210	1.17
Denton	The Reserves at Magnolia	60	91	1.52
Arlington	Lydle Ridge	59	77	1.31
Arlington	The Highlands Multi-Generational	275	372	1.35
Fort Worth	Sunset at Fash Place	66	83	1.26
Corinth	The Belton (PD-67)	199	240	1.21
	ITE Parking Generation Manual-4th Edition (2019)			1.00

Envision Corinth – 2040 Comprehensive Plan:

The market share summary (page 36) states the “primary focus for multi-family (rental and ownership) need to be placed within walking distance to transit, mixed uses, and public amenities and clustered to maximum value creation.”

The subject property falls within the Mixed Use-TOD area. The mixed-use TOD purpose and intent is to:

- *Maximize the development of mixed use, regional center in conjunction with a commuter rail stop on the DCTA line at Corinth Parkway and Interstate 35E*

Land use types and density shall range from 4-6 stories, provide density based on a street grid that is dense and walkable and make connections to adjoining uses, such as the regional trail network.

Understanding the future vision of the area, parking data available for senior living developments, and operational requirements of the developer/owner, the proposed parking ratios will be adequate for the following reasons:

- *Parking ratios are in line with similar developments (above) and ITE recommendation of 1.0 space per unit.*
- *The Mixed Use-TOD area focuses on a walkable community.*
- *Connections are made to the regional trail network.*
- *The development is within walking distance of the potential commuter rail stop.*
- *The development is adjacent to public amenities (i.e. Corinth Community Park)*

7. Amend Section 2.H. to read as follows: UDC Section 2.04.07.C.5 Garages, Driveways, and Parking is amended to permit a combination of enclosed garages and carports as on the PD Concept Plan (Exhibit “C”) and in Table C - Garages below.

Regulation		
Enclosed Garages	A minimum of 75% of all apartments shall have a one-car enclosed, 240 sq. ft. min., attached or detached per dwelling unit.	A minimum of 15% of the units shall have an enclosed garage, attached or detached.

Justification: *16 cottage units were added to the development which changed the number and configuration of garages provided.*

8. Amend Section 2.K. to read as follows: UDC Section 2.04.07.C.8.b Recreation Space Requirements shall apply where a minimum of eight percent (8%) of the gross complex is required to be in the form of private recreation. The requirements of this section are in addition to the park dedication requirements within 3.05.10.

Park and Trail Dedications for Residentially Zoned Property. To meet the Private Recreation requirements, the project includes the provision of 0.52 acres or eight percent (8%) of gross complex. The “private recreation areas” are shown on the Private Recreation and Open Space Plan (Exhibit “G”). However, the activity areas shown may be adjusted or changed to include comparable activities if and when popular sports and activities change based on resident demand (i.e., pickle ball).

- 1) Pool with outdoor seating and lounge areas, sidewalk/pedestrian paths, and entry plaza – 0.624 acres
 - 2) Sidewalk/pedestrian paths, passive courtyard, fire pit, and pickle ball court - 0.861 acres
 - 3) Clubhouse – 0.194 acres
- Total – 1.679 acres**

Justification: *The overall open space area still exceeds the 8% requirement.*

9. Amend Section 2.L. to read as follows: The UDC Section 3.05.10 Park and Trail Dedication for Residentially Zoned Property requires that Park and Trail dedication for Residentially Zoned Property be provided at a rate of one (1) acre per/50 DU and/or fees-in-lieu-of shall apply, except that the Applicant/Developer agrees to incorporate the tree preservation area and linear open space adjacent to the Lynchburg Creek greenway/trail public open space to create a passive common area for the residents of the complex with benches/sitting area including decorative metal fencing with locked gate providing access out to the public open space as depicted on the PD Concept Plan (Exhibit "D") and the Concept Landscape Plan (Exhibit"). **The 19,690 sq. ft. area** identified for the Tree Preservation and Common Open Space area may be used to off-set the direct portion of required trail and land dedication fees provided that that common open space is maintained as depicted on the Private Recreation and Open Space Plan (Exhibit "G"). The Tree Preservation and Common Open Space area shall remain free of any stormwater management facilities should stormwater detention be required at time of Site Plan.

Justification: The overall tree preservation area increased by 58 sq. ft. This is due to changes in the site plan.

10. Amend Section 2.P. to read as follows: UDC Section 4.02 Fence and Screening Regulations shall apply, except that 4.02.11.E Residential Construction Abuts a Collector or an Arterial Street shall not apply. Additionally, perimeter fencing as depicted on the PD Concept Plan (Exhibit "D") shall be comprised of a transparent decorative iron fence with pedestrian gate access along the **eastern property line**.

Justification: Clarifying the correct property line on where pedestrian gates are to be located.

11. Amend Section 3.D. to read as follows: **Fire Lane:** A **fire lane** as depicted on the PD Concept Plan (Exhibit "D") shall be installed providing **exit only for residents and emergency access**. The type of gate shall be determined at time of Site Plan and be acceptable to the Fire Marshal though at a minimum would be a one-armed gate (or similar).

Justification: Removed reference to the grasscrete fire lane and modified how the easternmost drive should function.

12. **Other: Regarding the on-street parking design shown along Corinth Parkway on "Exhibit B" – PD Concept, the developer agrees to revise the proposed design should the City present an alternative plan for on-street parking and the associated sidewalk prior to the construction of said on-street parking. Additionally, a pedestrian access easement shall be provided along Corinth Parkway extending from the property line inward to the back edge of the sidewalk.**

Staff Comments/Conditions:

This Minor PDA shall supersede any conflicting standards approved and presented on "Exhibit B" – PD Concept Plan and "Exhibit C" – Concept Landscape and Screening Plan, in Planned Development Ordinance No. 31 (PD-67) as adopted on March 7, 2024.

Approved/Denied:



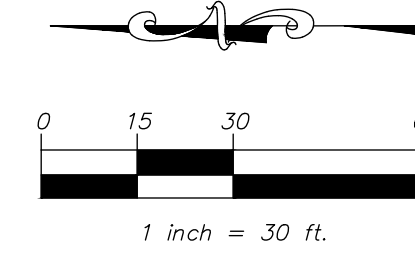
Melissa Dailey, AICP
Director of Planning and Development
Date: 10/1/24

LINE TABLE		
LINE #	LENGTH	DIRECTION
L1	93.02'	N 88°15'56" E
L2	7.43'	N 10°15'37" W
L3	28.69'	N 32°50'19" E
L4	44.27'	N 71°04'15" E
L5	21.68'	S 89°05'11" E
L6	25.76'	S 79°28'25" E
L7	29.03'	S 69°42'15" E
L8	24.37'	S 80°28'21" E
L9	27.01'	S 87°01'01" E
L10	21.32'	S 43°18'20" E
L11	4.13'	S 25°59'32" E
L12	33.24'	N 88°13'53" E

SITE DATA TABLE		
MULTI-FAMILY REQUIREMENTS		
SITE DATA		
CURRENT ZONING	PD-67	
SITE AREA	6.5 AC	
UNITS		
BUILDING COVERAGE (ALL BUILDINGS)	50% MAX.	
DENSITY	30.3 UNITS/AC	
BUILDING DATA		
NUMBER OF STORES	4 STORES	
MINIMUM FLOOR AREA	696 SF	
BUILDING SETBACKS		
FRONT YARD	10' MIN.	
REAR YARD	20' MIN.	
SIDE YARD	20' MIN.	
ADJACENT TO ONE OR TWO FAMILY RESIDENTIAL	NA	

SITE DATA TABLE		
UNIT TYPE	NUMBER	
MULTI-FAMILY 1 BEDROOM	100	
MULTI-FAMILY 2 BEDROOM	83	
DUPLEX 2 BEDROOM	16	
TOTAL MULTI-FAMILY UNITS	199	
REQUIRED PARKING		
1.21 PS PER UNIT	240	
1 PS FOR EACH 200 SQ. FT. OF RETAIL, PERSONAL, OR BUSINESS SERVICE (1,866 SQ. FT. TOTAL)	7	
TOTAL REQUIRED PARKING	247	
PROVIDED PARKING		
SURFACE PARKING (INCLUDING DETACHED GARAGES & PROSPECTIVE RESIDENT PARKING)	240 (1.21 SPACES PER UNIT)	
SURFACE PARKING (RETAIL, PERSONAL, OR BUSINESS SERVICE)	7	
TOTAL PARKING PROVIDED	247 SPACES	

NOTES:
 1. AERIAL FIRE APPARATUS ACCESS ROAD MUST BE ABLE TO ACCOMMODATE 85,000 LBS.
 2. ALL GATES WITHIN THE FIRE LANE SHALL PROVIDE AUTOMATIC ACCESS WITH A MANUAL DISCONNECT.



LEGEND:

- FIRE LANE: - - - - -
- PARKING COUNT: (5)
- PRESERVED TREE: (Tree Symbol)
- FENCING: - - - - -
- ZONING: (Z in Circle)
- EX. USE CLASSIFICATION: (Z in Circle)

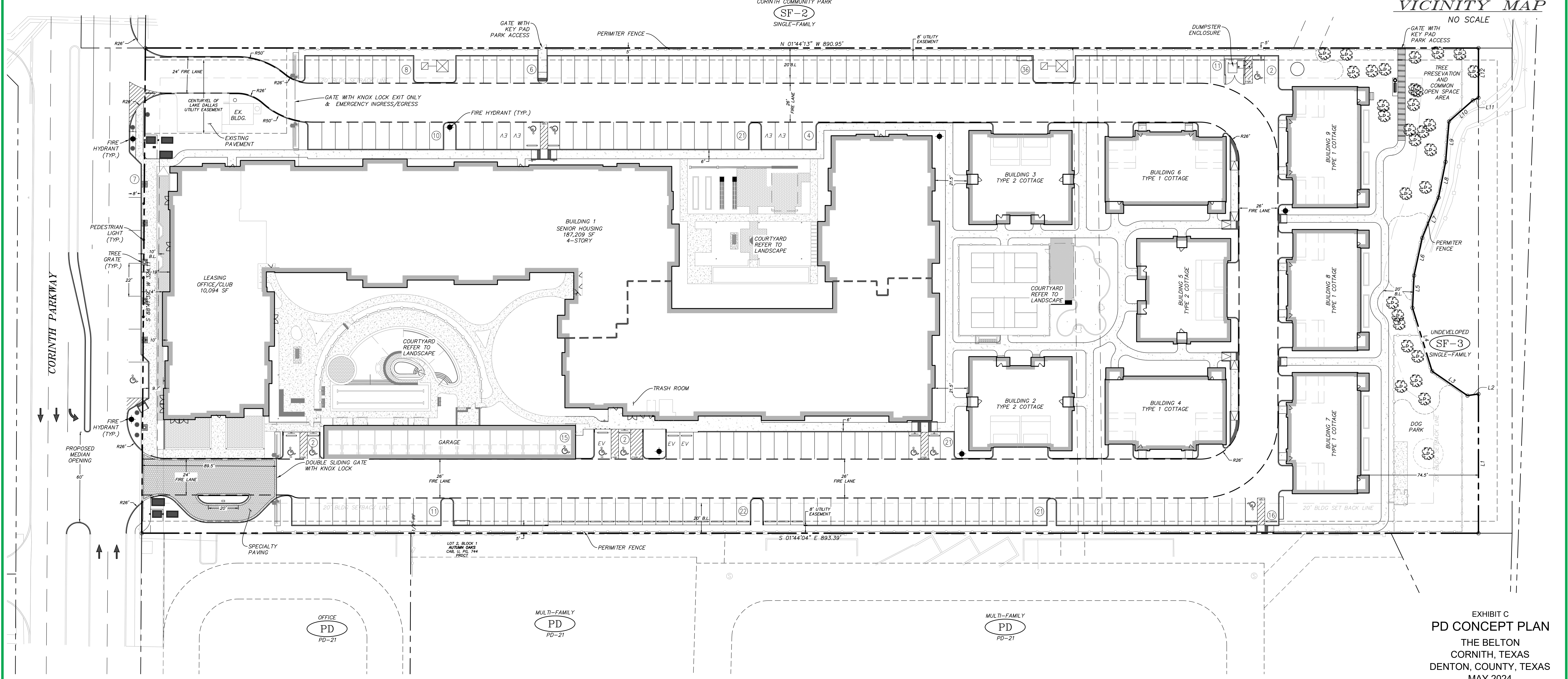


EXHIBIT C
PD CONCEPT PLAN
 THE BELTON
 CORNITH, TEXAS
 DENTON, COUNTY, TEXAS
 MAY 2024

ZONING CASE #ZAPD23-0001

OWNER:
 GVM III, LLC
 1000 CORDOVA PLACE #271
 SANTA FE, NM 87505

DEVELOPER:
 BRIDGEVIEW MULTIFAMILY, LLC.
 8390 LBJ FREEWAY, SUITE 565
 DALLAS, TEXAS 75243
 CONTACT: DRU GUILLOT
 PHONE: (214) 676-7617

mimja
 civil engineering surveying landscape architecture planning
 tpeps registration number: 1 - 2759
 tpeps registration/license number: 10088000
 5139 east border
 dallas, texas 76010
 817-469-1671
 fax: 817-274-8757
 www.mmotexas.com

LANDSCAPE DATA		
LANDSCAPE EDGE AT R.O.W. ADJACENCIES	REQUIRED	PROVIDED
CORINTH PARKWAY - COLLECTOR - FRONTAGE LENGTH - 324 LF		
DEPTH REQUIRED	15'	15'
NUMBER OF 3" CALIPER TREES REQUIRED @ 1 PER 30 LF OF FRONTAGE	11	11
VEHICLE HEADLIGHT SCREENING ABUTTING THE LANDSCAPE EDGE	NO PARKING WITHIN 50'	NOT REQUIRED
PARKING LOT REQUIREMENTS	REQUIRED	PROVIDED
PARKING SPACES	247	247
NUMBER OF 3" CALIPER TREE REQUIRED @ 1 PER 10 PARKING SPACES	25	25
20 SF OF INTERIOR PARKING LOT LANDSCAPING FOR EACH SPACE	4,940 SF	4,940 SF +
ALL PARKING ISLANDS TO BE PROTECTED BY 6" RAISED CURB	YES	YES
NO PAVING SHALL BE PERMITTED WITHIN 5' OF CENTER OF TREE	YES	YES
MULTI-FAMILY INTERNAL AND OPEN SPACE REQUIREMENTS	REQUIRED	PROVIDED
INTERIOR TREES BASED ON 47,051 SF OF REQUIRED YARDS @ 1 3"	48	48
SHADE TREE PER 1,000 SF		

EXISTING TREE INVENTORY				
CLASS	SAVED (# OF TREES)	SAVED INCHES	REMOVED (# OF TREES)	REMOVED INCHES
PROTECTED TREES 6" - 20"	25	362"	43	569"
PROTECTED TREES 20.1" - 30"	3	83"	8	212"
PROTECTED TREES 30.1" - 40"	2	72"	1	35"
PROTECTED TREES 40.1" +	0	0"	0	0"
TOTAL TREES ON SITE		82		
TOTAL INCHES ON SITE		1,333"		
TOTALS	30	517"	52	816"

TREE REPLACEMENT CALCULATIONS			
REQUIRED MITIGATION	INCHES REMOVED	MITIGATION	REPLACEMENT INCHES
PROTECTED TREES 6" - 20"	569"	1:1	569"
PROTECTED TREES 20.1" - 30"	212"	1.5:1	318"
PROTECTED TREES 30.1" - 40"	35"	2.5:1	87.5"
PROTECTED TREES 40.1" +	0"	4:1	0"
TOTAL MITIGATION REQUIRED			974.5"

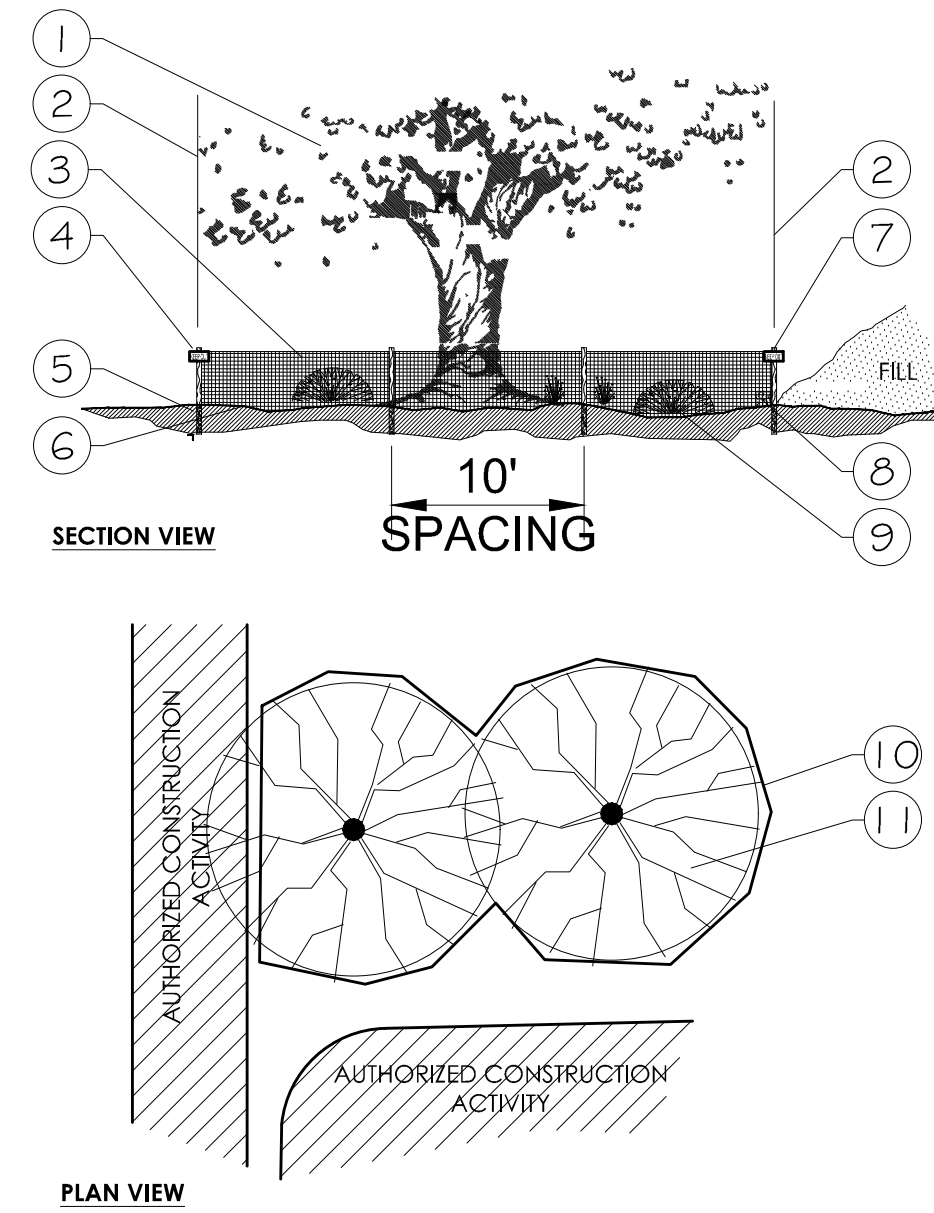
SLIDING SCALE CREDITS			
SAVED TREES 6" - 12"	63"	2.5:1	157.5"
SAVED TREES 12.1" - 20"	299"	3.5:1	1,046.5"
SAVED TREES 20.1" - 30"	83"	4:1	332"
SAVED TREES 30.1" - 40"	72"	4.5:1	324"
SAVED TREES 40.1" +	0"	5.5:1	0"
TOTAL CREDITS			1,860"

SEC. 2.E.2.a LANDSCAPE		
	REQUIRED	PROVIDED
GROUND FLOOR UNIT TREES (40 UNITS)	40	40
COTTAGE GROUND FLOOR UNIT TREES (16 UNITS)	16	16
GROUND FLOOR UNIT SHRUBS	320	320
COTTAGE GROUND FLOOR UNIT SHRUBS (16 UNITS)	128	128

NOTE:
- VARIABLE WIDTH LANDSCAPE STRIP ALONG THE BUILDING FACE TO BE PLANTED AT A RATE OF 1 ORNAMENTAL TREE AND 8 SHRUBS PER GROUND FLOOR UNIT.
- CITY COMMENT: AT A MINIMUM, SHRUBS BE PROVIDED AT A RATE OF 8 SHRUBS PER UNIT ADJACENT TO A LANDSCAPE STRIP AND THAT ORNAMENTAL TREES BE INCORPORATED IN THE LANDSCAPE STRIP WHERE FEASIBLE.

TREE LIST

TREE TABLE		TREE TABLE		TREE TABLE		TREE TABLE		TREE TABLE	
Point #	Description	Point #	Description	Point #	Description	Point #	Description	Point #	Description
901	27" LIVE OAK	922	17" POST OAK	945	36" POST OAK	4050	18" POST OAK	4074	7" MAGNOLIA
902	14" RED OAK	923	30" POST OAK	947	12" POST OAK	4051	15" POST OAK	4075	8" PINE
903	27" LIVE OAK	924	8" ELM	948	17" POST OAK	4052	15" POST OAK	4076	18" LIVE OAK
904	6" PECAN	926	27" POST OAK	951	8" POST OAK	4053	13" POST OAK	4077	18" PECAN
905	6" PECAN	927	12" POST OAK	4031	10" CEDAR	4054	13" POST OAK	80319	14" LIVE OAK
906	27" PECAN	928	14" POST OAK	4032	12" POST OAK	4055	12" POST OAK		
907	27" LIVE OAK	929	14" POST OAK	4033	30" LIVE OAK	4056	17" POST OAK		
908	12" PEAR	930	14" POST OAK	4034	12" ELM	4057	15" ELM		
909	25" POST OAK	931	13" POST OAK	4035	15" ELM	4058	15" POST OAK		
910	12" PEAR	932	8" POST OAK	4036	18" LIVE OAK	4059	15" POST OAK		
912	14" PECAN	933	13" ELM	4037	18" LIVE OAK	4060	10" POST OAK		
913	18" PECAN	934	18" ELM	4038	35" LIVE OAK	4061	15" POST OAK		
914	18" LIVE OAK	937	12" POST OAK	4039	9" ELM	4062	17" POST OAK		
915	20" LIVE OAK	938	19" POST OAK	4040	9" PEAR	4063	15" WILLOW	NOT COUNTED	
916	20" POST OAK	939	14" POST OAK	4043	7" HONEY LOCUST	4067	7" POST OAK		
917	17" POST OAK	940	11" POST OAK	4044	7" HONEY LOCUST	4068	17" POST OAK		
918	23" POST OAK	941	36" POST OAK	4046	18" POST OAK	4069	17" POST OAK		
919	16" POST OAK	942	13" POST OAK	4047	14" POST OAK	4070	16" POST OAK		
920	13" POST OAK	943	15" POST OAK	4048	22" POST OAK	4071	18" POST OAK		
921	14" POST OAK	944	30" POST OAK	4049	7" POST OAK	4072	7" POST OAK		

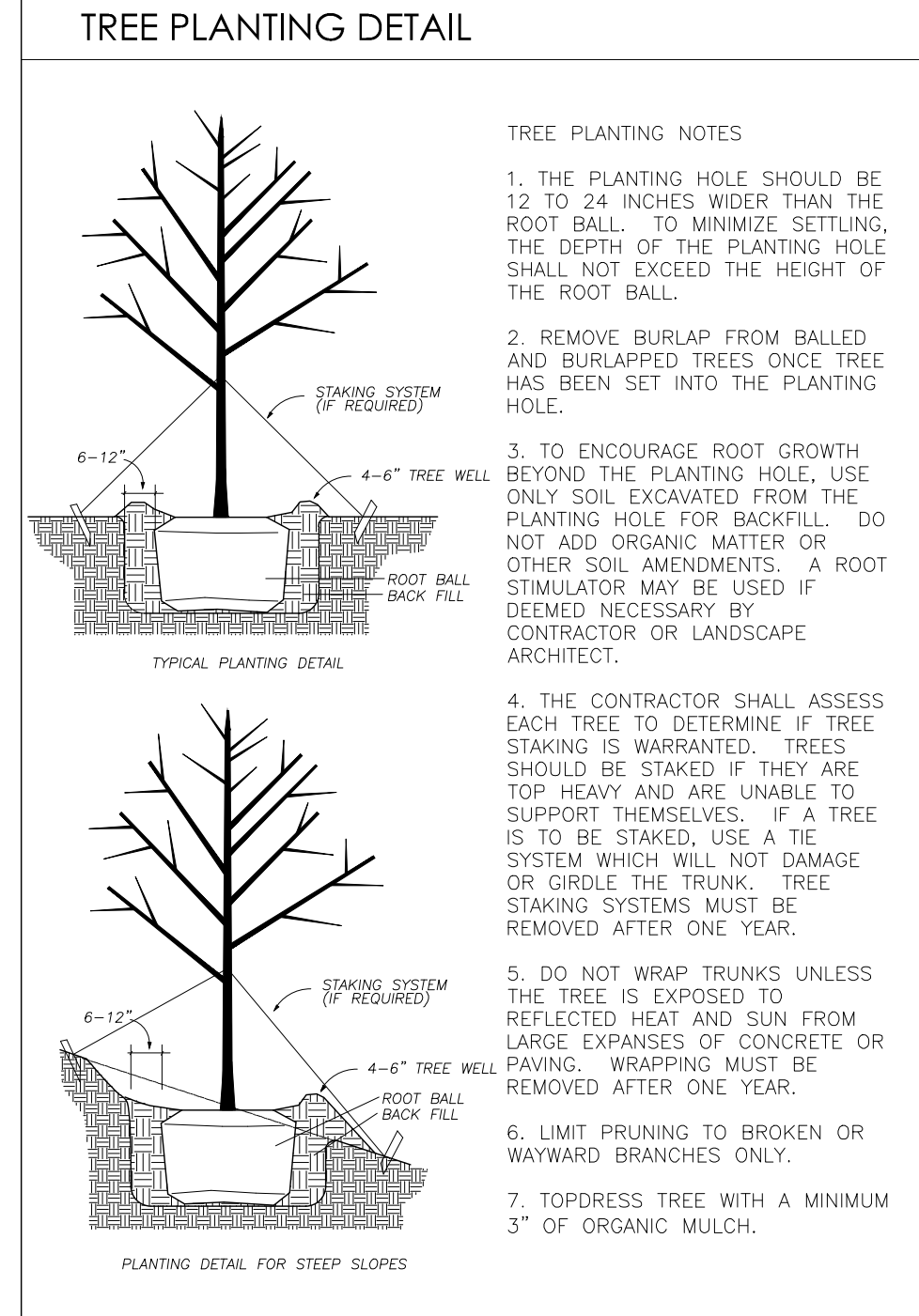
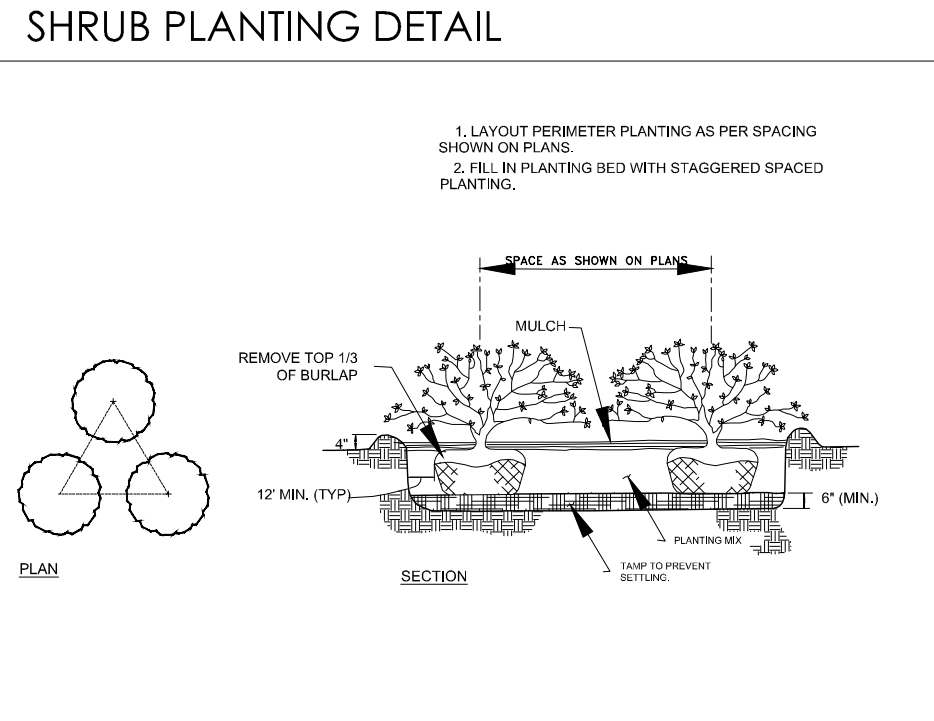


- 1 EXISTING TREE
- 2 DRIPLINE
- 3 VINYL ORANGE FENCE, TYP
- 4 "KEEP OUT" SIGNS LOCATED EVERY 50' AND/OR ON EACH CORNER POST
- 5 18" MINIMUM PENETRATION BACKFILL HOLE AND COMPACT
- 6 EXISTING GRADE TO BE MAINTAINED
- 7 3" ROUND POSTS, TYP
- 8 HAY BALE HELD IN PLACE WITH 2' X 2' STAKE HAY BALES TO BE PLACED ALONG WITH VEGETATION PROTECTION BARRIER WHEN SURROUNDING AREAS ARE TO RECEIVE 12" OR MORE FILL IN ORDER TO CONTROL EROSION WITHIN DRIPLINE OF TREE.
- 9 NATIVE SHRUBS AND GROUND COVERS TO REMAIN
- 10 VEGETATION PROTECTION ZONE, NO PARKING, GRADING, STORAGE OF MATERIALS OR OTHER ACTIVITIES WITHIN THESE AREAS SHALL BE ALLOWED

NOTES:

- EXISTING TREES AND NATURAL AREAS PROTECTED TREES AND VEGETATION SHALL BE DEFINED AS ALL NATURALLY OCCURRING TREES AND SHRUBS NOT SPECIFICALLY DESIGNATED FOR REMOVAL BY CONSTRUCTION ACTIVITIES. SITE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT TO INSPECT ALL BARRICADES AND BARRIERS 48 HOURS PRIOR TO EARTHMOVING ACTIVITIES. NO ACTIVITY SHALL BE ALLOWED WITHIN AREAS SO MARKED WITHOUT THE WRITTEN APPROVAL OF THE LANDSCAPE ARCHITECT. SEE VEGETATION PROTECTION DETAIL. BARRICADES SHALL ONLY BE REQUIRED IN AREAS DESIGNATED ON THE PLANS. HOWEVER, THE CONTRACTOR SHALL BE RESPONSIBLE FOR NON-DISTURBANCE OF ALL PROTECTED TREES AND VEGETATION. THIS INCLUDES ANY PARKING OF VEHICLES AND STORAGE OF MATERIALS. UNLESS OTHERWISE NOTED, AUTHORIZED CONSTRUCTION ACTIVITIES WITHIN THE DRIPLINE OF PROTECTED TREES SHALL BE PERFORMED IN COMPLIANCE WITH ALL LOCAL AND STATE CODES AND REGULATIONS.
- IMPACTS TO PROTECTED VEGETATION: THE CONTRACTOR IS HEREBY GIVEN NOTICE THAT ANY DAMAGE OR DEATH OF PROTECTED TREES OR NATURAL VEGETATION CAUSED BY UNAUTHORIZED CONSTRUCTION-RELATED ACTIVITIES WILL REQUIRE RESTORATION / REPLACEMENT ACCEPTABLE TO THE OWNER OR OWNER'S REPRESENTATIVE. COMPENSATION FOR TREES OVER 12" DBH SHALL BE DETERMINED UTILIZING METHODS OF APPRAISAL DEVELOPED BY THE INTERNATIONAL SOCIETY OF ARBORICULTURE. IN THE EVENT THAT BARRICADES ARE NOT MAINTAINED AND DAMAGE FROM ROOT DISTURBANCE OR CHEMICAL LEACHING ARE NOT IMMEDIATELY APPARENT, THE OWNER RESERVES THE RIGHT TO RETAIN THAT PORTION OF SCHEDULED PAYMENTS TO THE CONTRACTOR EQUIVALENT TO THE ANTICIPATED LOSS OF VALUE IN THE EVENT OF DEATH OR DECLINE FOR A PERIOD OF 12 MONTHS AFTER THE DAMAGING ACTIVITY OCCURS. THE CONTRACTOR MAY ELECT TO BOND SAID VALUE IN LIEU OF RETAINAGE.

1 TREE PROTECTION BARRICADE DETAIL
N.T.S.



PLANT SCHEDULE								
SYMBOL	CODE	QTY	DETAIL	BOTANICAL / COMMON NAME	CONT	CAL		
OPEN SPACE								
OS	SOS	46		Shade Open Space Arizona Cypress - Cupressus arizonica, Live Oak - Quercus virginiana, Chinquapin Oak - Quercus muhlenbergii, Cedar Elm - Ulmus crassifolia	B&B	3" Cal.		
OS	UOS	28		Understory Open Space Eve's Necklace - Sophora affinis, Texas Redbud - Cercis canadensis var. texensis, Possumhaw - Ilex decidua, Cherry Laurel - Prunus caroliniana	B&B	3" Cal.		
PARKING TREES								
P	QM	11		Quercus muhlenbergii / Chinkapin Oak 11'-12" Ht. Min., 8' Spread	B&B	3" Cal.		
P	QV	14		Quercus virginiana / Live Oak 11'-12" Ht. Min., 8' Spread	B&B	3" Cal.		
STREET TREES								
S	UC	11		Ulmus crassifolia / Cedar Elm 11'-12" Ht. Min., 7' Spread	B&B	3" Cal.		
UNIT TREES								
UUT	UUT	28		Understory Unit Trees Eve's Necklace - Sophora affinis, Texas Redbud - Cercis canadensis var. texensis, Possumhaw - Ilex decidua, Cherry Laurel - Prunus caroliniana	B&B	3" Cal.		
SHRUBS								
+	ES	190		Evergreen Shrub Nellie R Stevens Holly - Ilex cornuta 'Nellie R. Stevens'	5 Gal.			
UNIT SHRUBS								
U	US	448		Unit Shrubs Texas Sage - Leucophyllum frutescens, Cotoneaster - Cotoneaster sp., Dwarf Burford Holly - Ilex cornuta 'Burfordii Nana'	5 Gal.			
GROUND COVERS								
SGP		25,745 sf		/ Shrub and Groundcover Planting	VARIES			
ART		4,079 sf		Artificial Turf / Type to be Selected	Sq. Ft.			
DT		16,230 sf		Cynodon dactylon 'DT-1' / Bermuda Grass-Sod Free of Weeds and Undesirable Native Grasses	Sq. Ft.			

PLANT MATERIAL SPECIFICATION:

- ALL TREES TO BE UNIFORM BY SPECIES WITH STRAIGHT TRUNKS, MATCHING CHARACTER, AND FULL BRANCHING STRUCTURE.
- ALL SHRUBS TO BE FULL AND UNIFORM BY SPECIES WITH MATCHING CHARACTER AND BRANCHING STRUCTURE.
- EACH PLANT VARIETY MUST COME FROM A SINGLE SOURCE SUPPLIER IN ORDER TO MAINTAIN CONSISTENT APPEARANCE.
- ALL TREES, B&B AND CONTAINER TO BE NURSERY STOCK, WITH A WELL ESTABLISHED ROOT SYSTEM. COLLECTED SPECIMENS WILL BE REJECTED. CONTAINER GROWN PLANT MATERIAL MUST HAVE A WELL-ESTABLISHED ROOT SYSTEM REACHING THE SIDES OF THE CONTAINER, ABLE TO MAINTAIN A FIRM BALL WHEN THE CONTAINER IS REMOVED, BUT SHALL NOT HAVE EXCESSIVE ROOT GROWTH ENCIROILING THE INSIDE OF THE CONTAINER.
- ALL PLANT MATERIAL SHALL COMPLY WITH THE MINIMUM REQUIREMENTS AS SET FORTH BY THE AMERICAN ASSOCIATION OF NURSERYMEN, TEXAS ASSOCIATION OF NURSERYMEN STANDARDS AND/OR AS STATED IN THE PLANT SCHEDULE, WHICHEVER IS MORE STRINGENT.
- ALL TREES MUST MEET ALL THREE SPECIFICATIONS IN THE PLANT LEGEND: CALIPER, HEIGHT, AND SPREAD.

IRRIGATION NOTE:

- AN IRRIGATION SYSTEM WILL BE DESIGNED, INSTALLED, AND FUNCTIONAL PRIOR TO APPROVAL OF THE CERTIFICATE OF OCCUPANCY.

OWNER NOTE:

- THE OWNER SHALL BE RESPONSIBLE FOR THE MAINTENANCE, ESTABLISHMENT, AND PERFORMANCE OF PLANT MATERIAL.



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512.689.0627



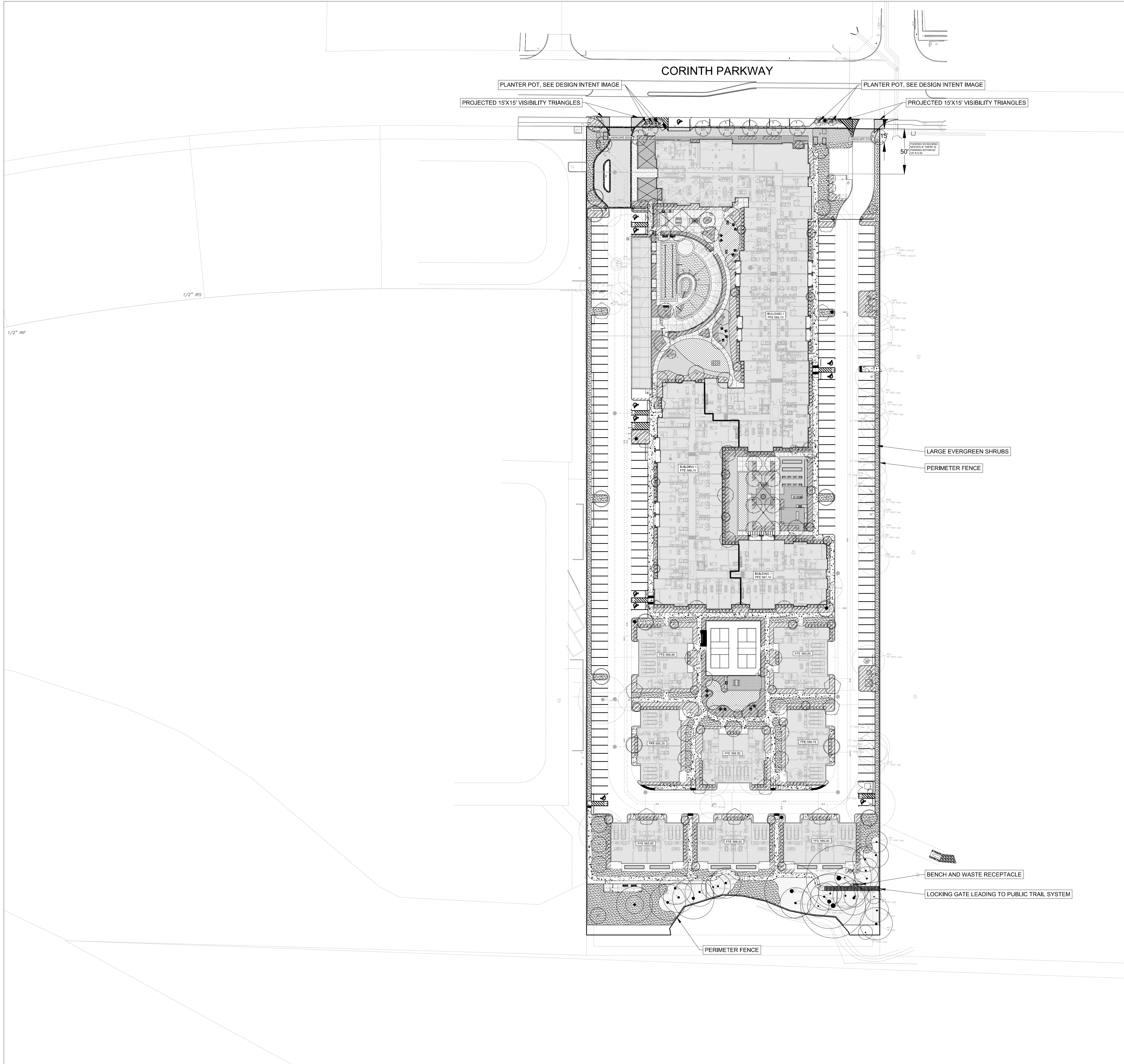
CORINTH SENIOR HOUSING

CORINTH, TEXAS
PROJ. 3427

SDP SET
9.11.2024

NO.	DESCRIPTION	DATE

LANDSCAPE ORDINANCE PLAN - NOTES AND CALCULATIONS



ROUND CONCRETE PLANTER
IMAGE FOR DESIGN INTENT ONLY. SPECIFIC PLANTER STYLE, SIZE, AND COLOR TO BE DETERMINED.



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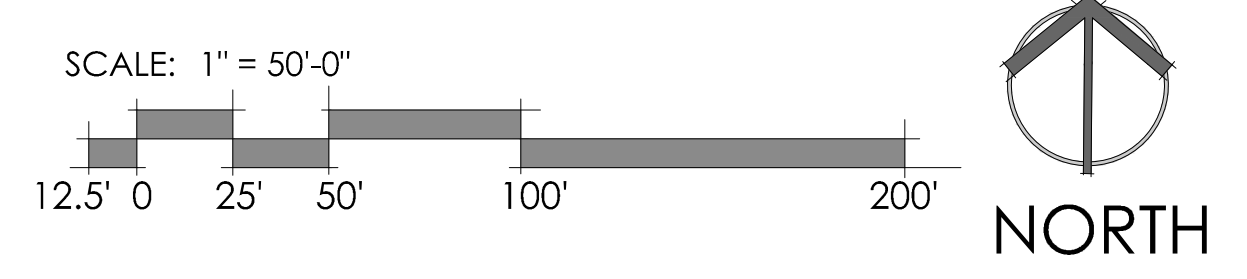
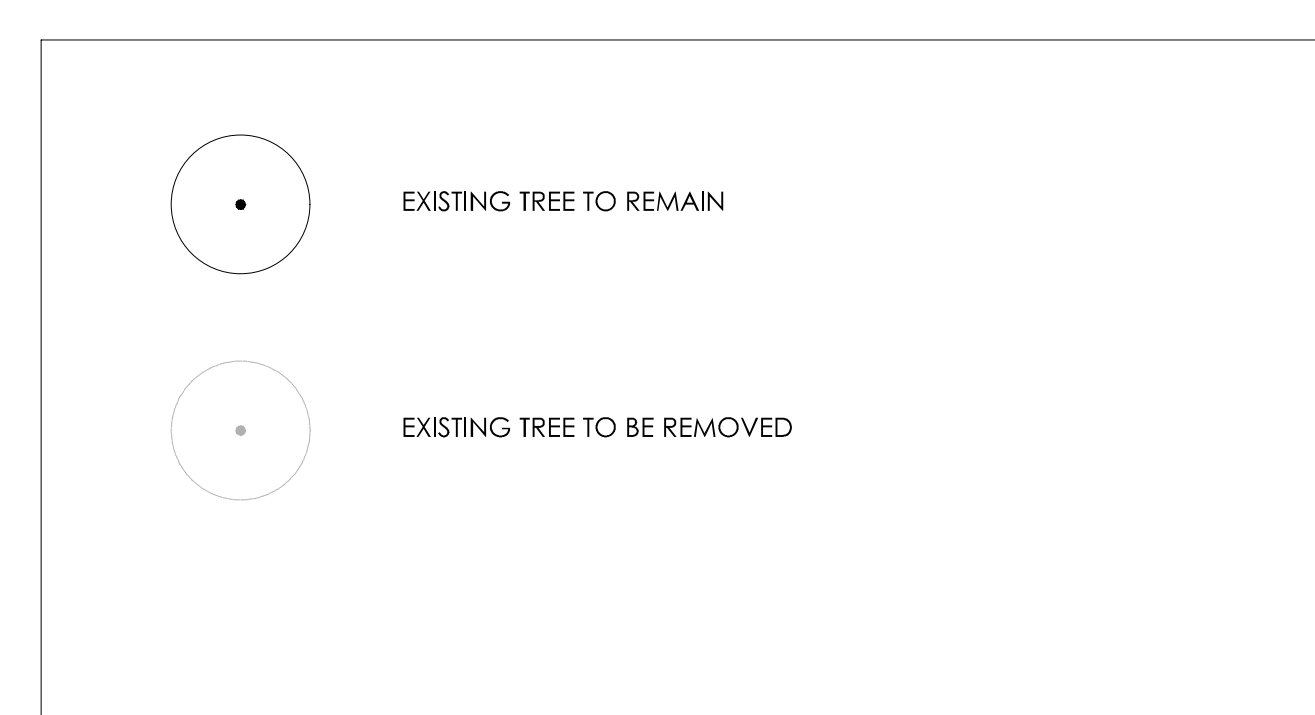


CORINTH SENIOR HOUSING

CORINTH, TEXAS
PROJ. 3427

SDP SET
9.11.2024

NO.	DESCRIPTION	DATE



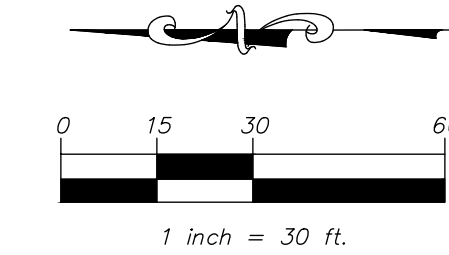
OVERALL LANDSCAPE
ORDINANCE PLAN

LA - 2

LINE #	LENGTH	DIRECTION
L1	93.02'	N 88°15'56" E
L2	7.43'	N 10°15'37" W
L3	28.69'	N 32°50'19" E
L4	44.27'	N 71°04'15" E
L5	21.68'	S 89°05'11" E
L6	25.76'	S 79°28'25" E
L7	29.03'	S 69°42'15" E
L8	24.37'	S 80°28'21" E
L9	27.01'	S 87°01'01" E
L10	21.32'	S 43°18'20" E
L11	4.13'	S 25°59'32" E
L12	33.24'	N 88°13'53" E

OVERALL AREA DATA TABLE		
	AREA (AC)	AREA (%)
OVERALL SITE AREA		
6.5		
100.0%		
TREE PRESERVATION AREA PROVIDED		
0.452		
7.0%		
PARK & TRAIL DEDICATION PROVIDED		
0.000		
0.0%		
TOTAL TREE PRESERVATION & PARK/TRAIL DEDICATION PROVIDED		
0.452		
7.0%		
PRIVATE RECREATION AREA		
1.679		
25.8%		
TOTAL		
2.131		
32.8%		

AREA DATA TABLE		
AREA TYPE	AREA (AC)	DESCRIPTION
TREE PRESERVATION AREA #1	0.452	TREE PRESERVE WITH WALKING TRAILS AND SEATING
SUBTOTAL	0.452	
RECREATION AREA #1	0.624	POOL WITH OUTDOOR SEATING AND LOUNGE AREAS; SIDEWALK/PEDESTRIAN PATHS; ENTRY PLAZA
RECREATION AREA #2	0.861	SIDEWALK/PEDESTRIAN PATHS; PASSIVE COURTYARD; FIRE PIT; PICKLEBALL COURT
RECREATION AREA #3	0.194	CLUBHOUSE
SUBTOTAL	1.679	
TOTAL	2.131	



LEGEND:

TREE PRESERVATION AREA

PRIVATE RECREATION AREA

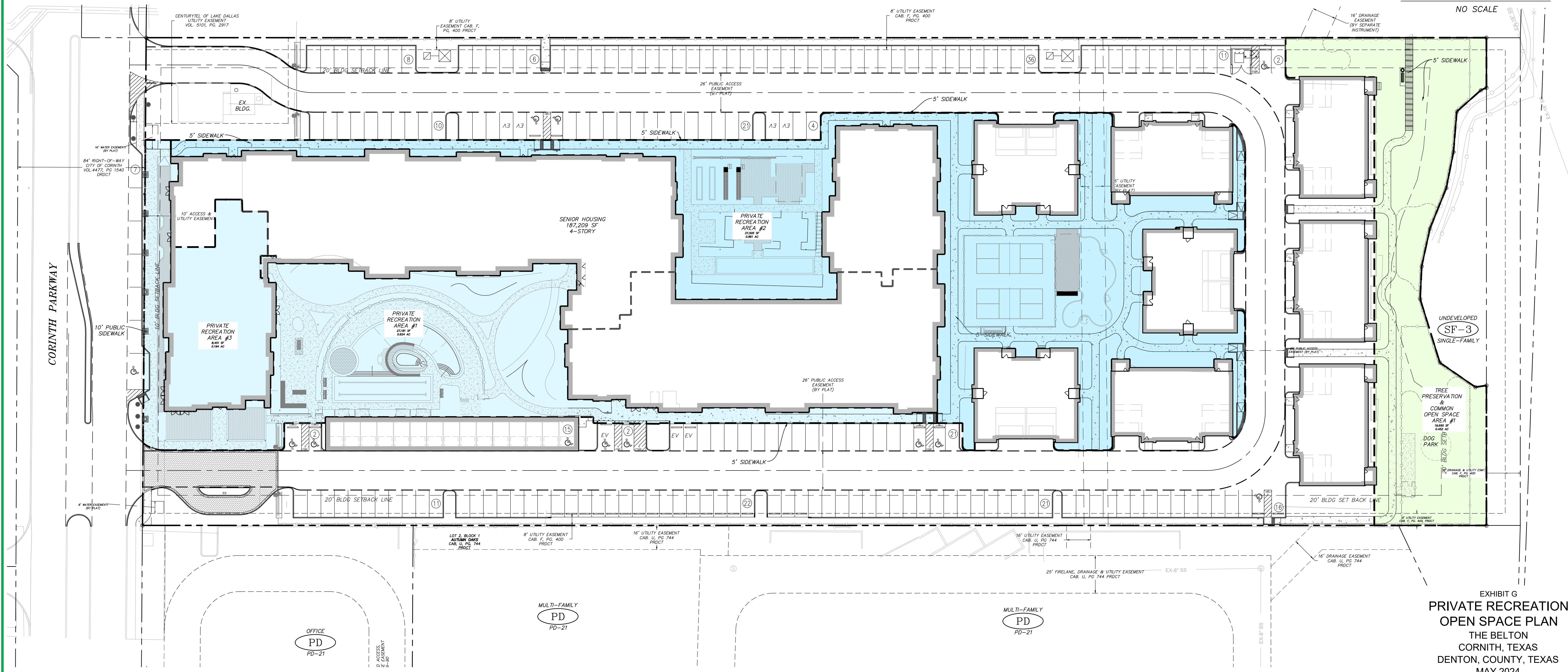
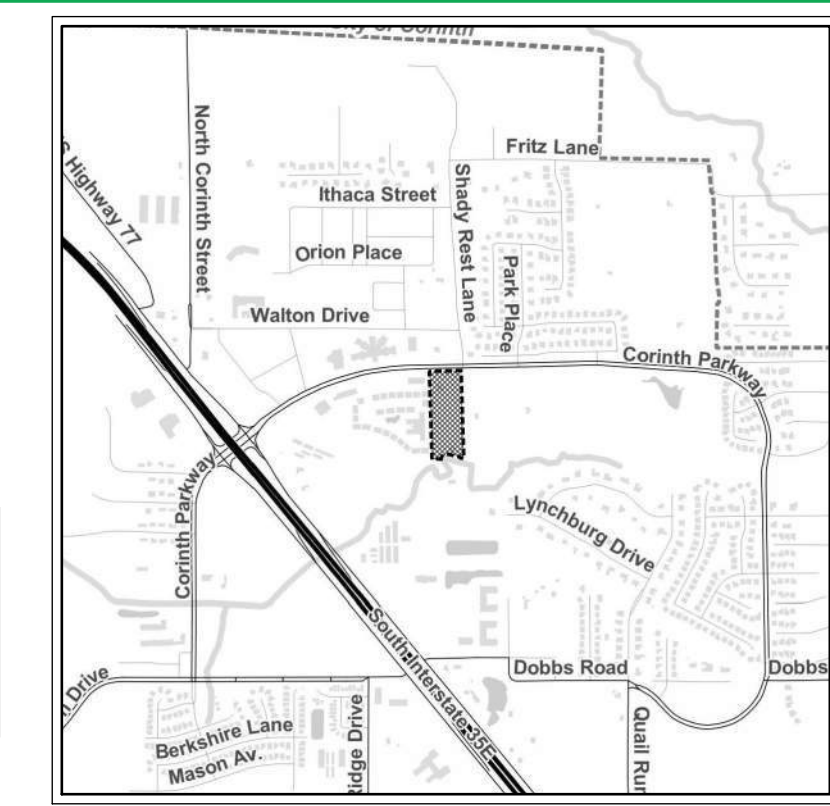


EXHIBIT G
**PRIVATE RECREATION
 OPEN SPACE PLAN**
 THE BELTON
 CORNITH, TEXAS
 DENTON, COUNTY, TEXAS
 MAY 2024

ZONING CASE #ZAPD23-0001

OWNER:
 GVM III, LLC
 1000 CORDOVA PLACE #271
 SANTA FE, NM 87505

DEVELOPER:
 BRIDGEVIEW MULTIFAMILY, LLC.
 8390 LBJ FREEWAY, SUITE 565
 DALLAS, TEXAS 75243
 CONTACT: DRU GUILLOT
 PHONE: (214) 676-7617

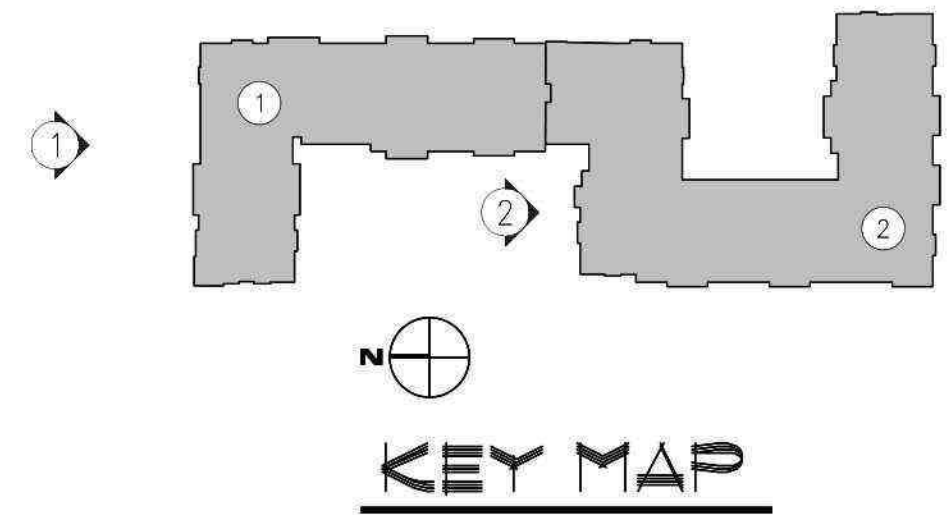
PLOTTED BY: JACOB SUMPTER DATE: 05/20/24 10:27 AM PATH: P:\046\00000000\0000\PRIVATE RECREATION AND OPEN SPACE PLAN.dwg



2 NORTH ELEVATION
1/8"=1'-0"



1 NORTH ELEVATION
1/8"=1'-0"



Date: 3/7/2024 © 8:39 AM By: cheng NOT FOR CONSTRUCTION

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SHEET TITLE
EXTERIOR ELEVATIONS

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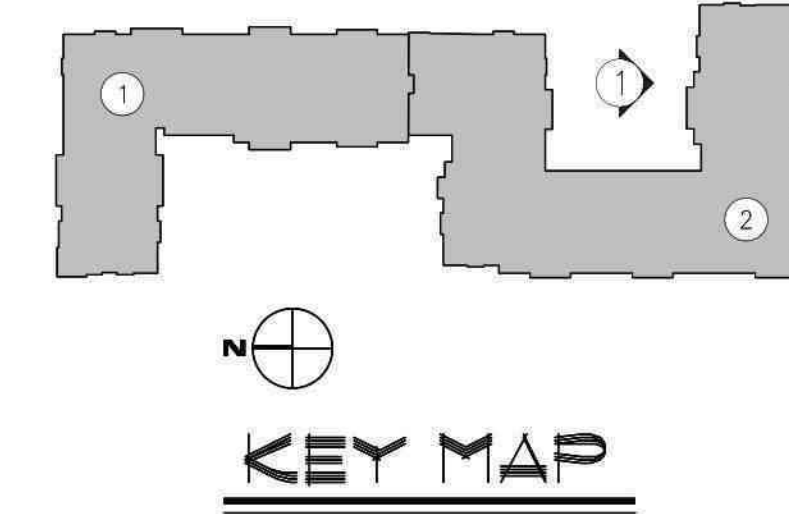
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STAMP



1 NORTH ELEVATION
1/8"=1'-0"



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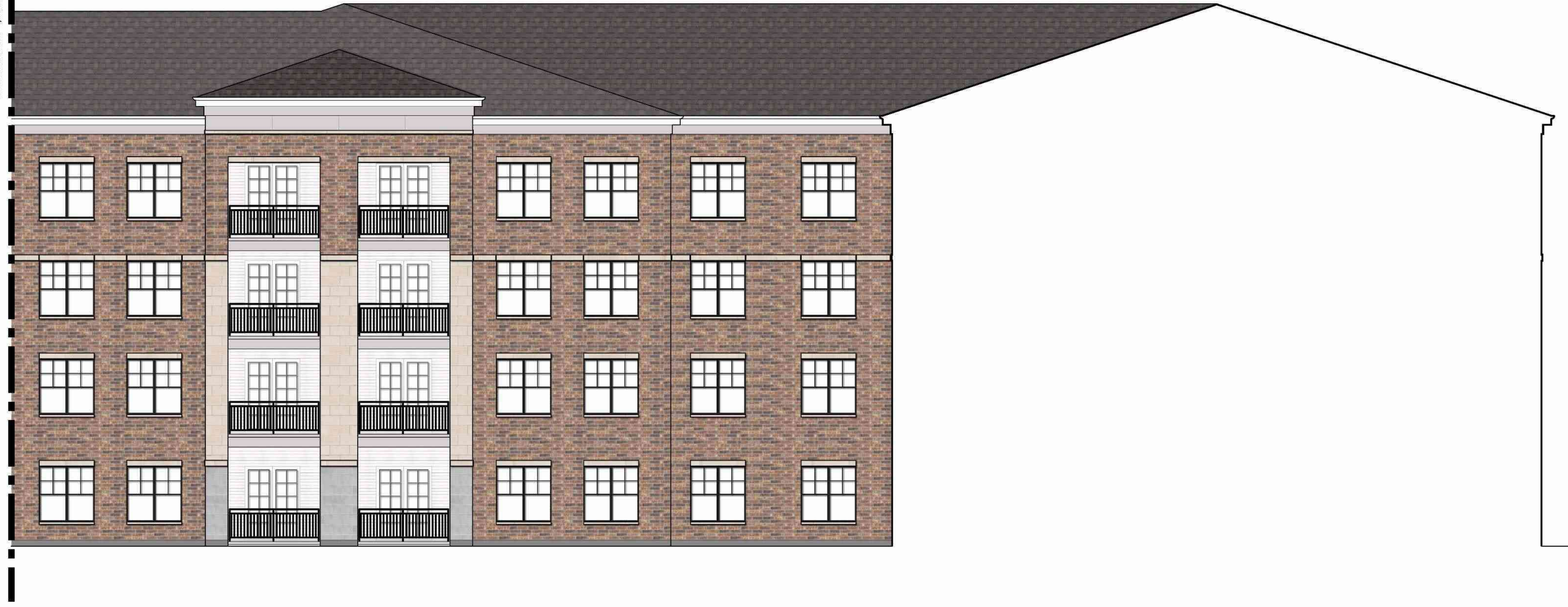
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 ELEVATIONS**

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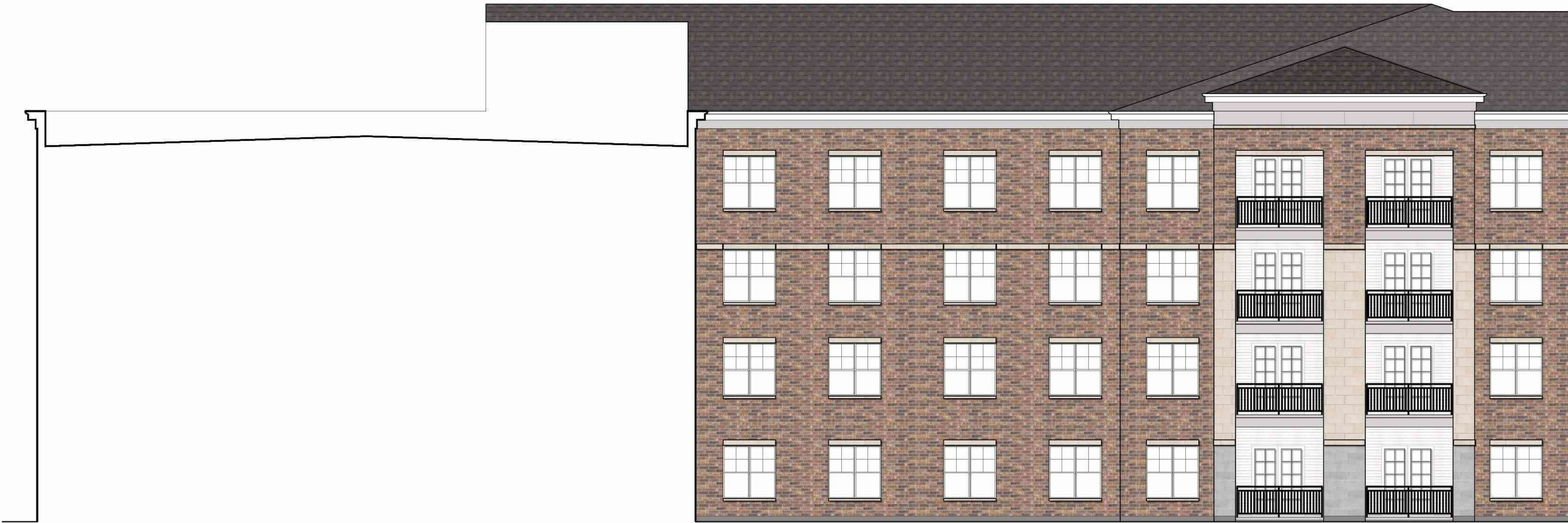
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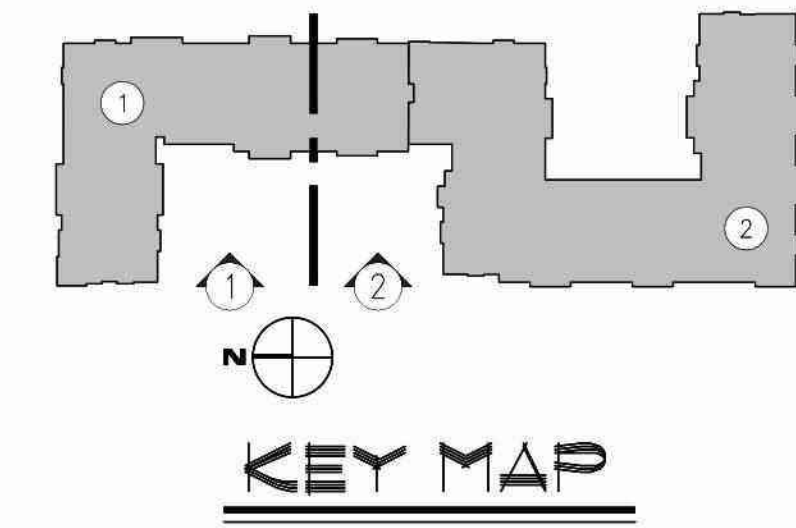


2 WEST ELEVATION
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MATCHLINE RE: 2/A4.03



1 WEST ELEVATION
1/8"=1'-0"



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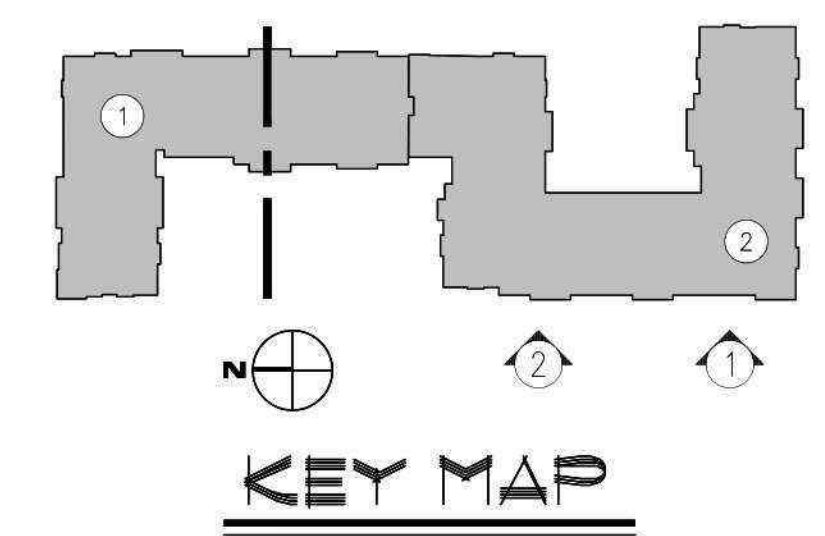
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1 WEST ELEVATION
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2 WEST ELEVATION
1/8"=1'-0"



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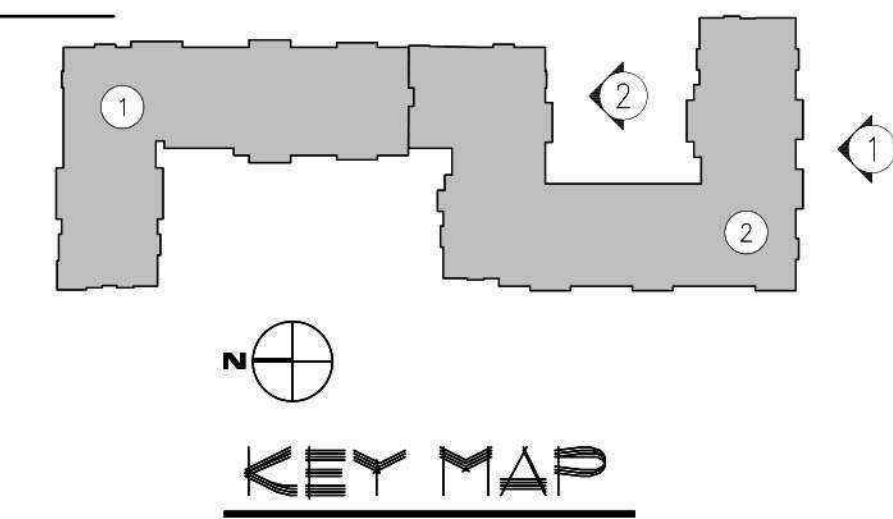
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2 SOUTH ELEVATION
1/8"=1'-0"



1 SOUTH ELEVATION
1/8"=1'-0"



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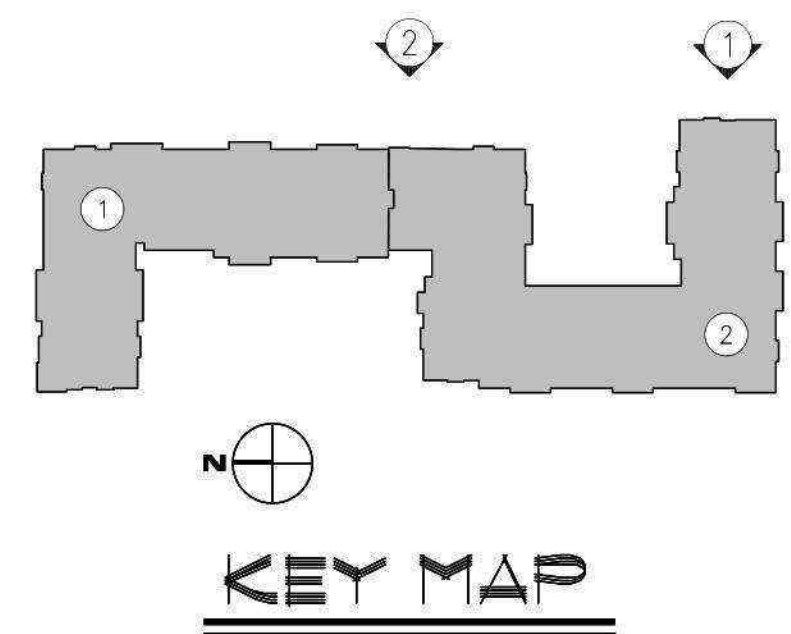
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2 EAST ELEVATION
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1 EAST ELEVATION
 1/8"=1'-0"





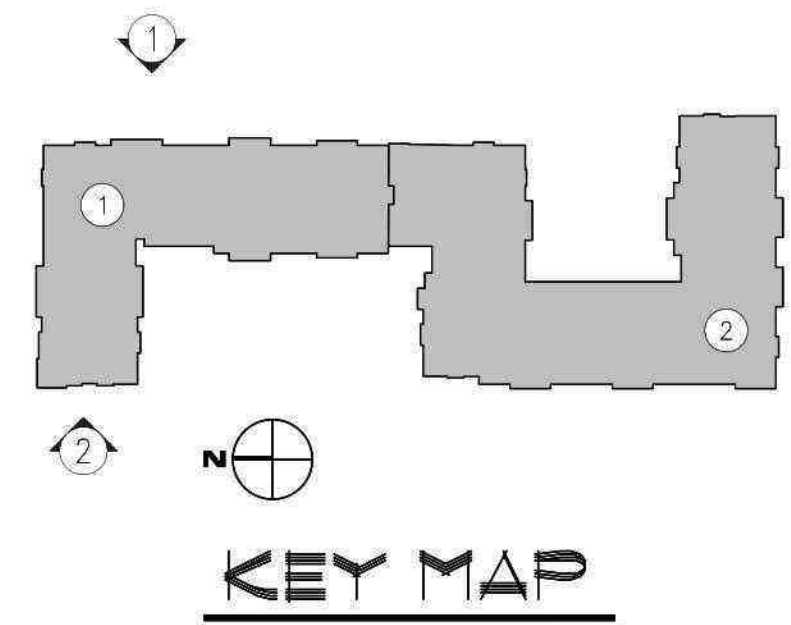
MATCHLINE RE: 1/A4.03

2 WEST ELEVATION
1/8"=1'-0"



MATCHLINE RE: 2/A4.06

1 EAST ELEVATION
1/8"=1'-0"



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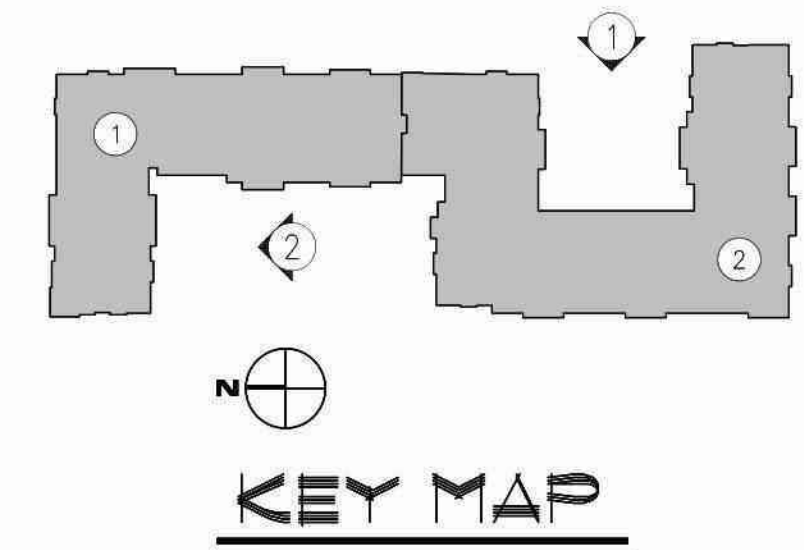
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2 SOUTH ELEVATION
1/8"=1'-0"



1 EAST ELEVATION
1/8"=1'-0"



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SHEET TITLE
**EXTERIOR
ELEVATIONS**

DRAWING NO.
A4.08



4 REAR ELEVATION
3/16"=1'-0"



3 LEFT ELEVATION
3/16"=1'-0"



2 RIGHT ELEVATION
3/16"=1'-0"



1 FRONT ELEVATION
3/16"=1'-0"



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SHEET TITLE
**DUPLEX TYPE I
ELEVATIONS**

DRAWING NO.
DP4.00



4 REAR ELEVATION
3/16"=1'-0"



3 LEFT ELEVATION
3/16"=1'-0"



2 RIGHT ELEVATION
3/16"=1'-0"



1 FRONT ELEVATION
3/16"=1'-0"

NO.	DATE	REVISION

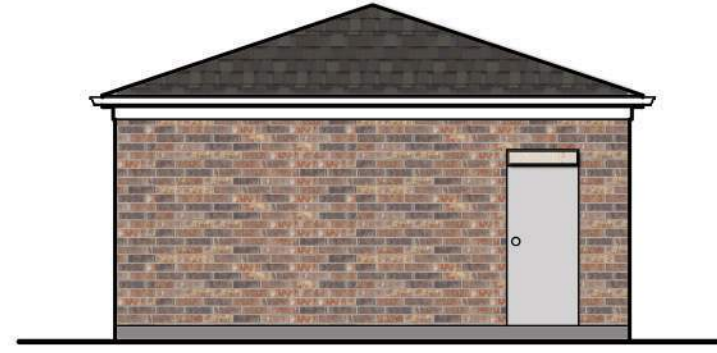
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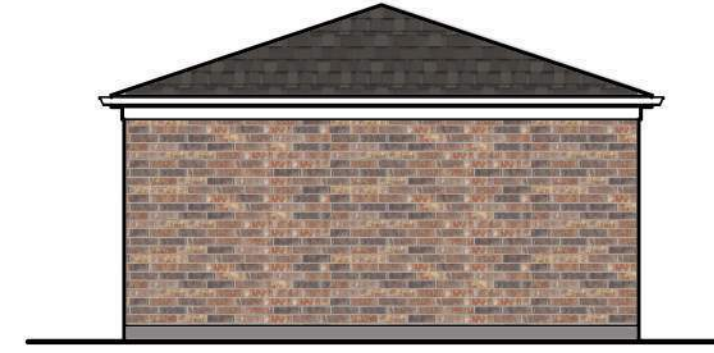
JOB NO.:	23068
NOT FOR CONSTRUCTION	<input type="checkbox"/>
ISSUED FOR PRICING	<input type="checkbox"/>
ISSUED FOR PERMIT	X <input checked="" type="checkbox"/>
ISSUED FOR CONSTRUCTION	<input type="checkbox"/>

SHEET TITLE
 DUPLEX TYPE II
 ELEVATIONS

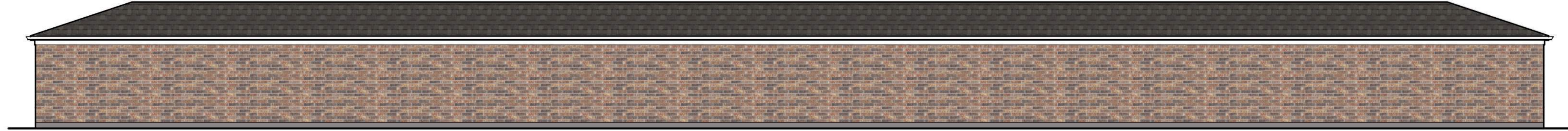
DRAWING NO.
DP4.01



4 DETACHED GARAGE TYPE I - SIDE ELEV.
1/8"=1'-0"



3 DETACHED GARAGE TYPE I - SIDE ELEV.
1/8"=1'-0"



2 DETACHED GARAGE TYPE I - REAR ELEV.
1/8"=1'-0"



1 DETACHED GARAGE TYPE I - FRONT ELEV.
1/8"=1'-0"



NO.	DATE	REVISION

MEEKS PARTNERS
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**THE BELTON ACTIVE ADULT
 CORINTH, TX
 A Development of
 BRIDGEVIEW REAL ESTATE**

JOB NO.:	23068
ISSUED FOR CONSTRUCTION	
ISSUED FOR PRICING	
X ISSUED FOR PERMIT	
ISSUED FOR CONSTRUCTION	

SHEET TITLE:
DETACHED GARAGE TYPE I

DRAWING NO.
A1.47