



**PARKRIDGE PASS
PLANNED DEVELOPMENT NO. 37
BASE ZONING DISTRICT: C-1 COMMERCIAL
ORDINANCE NO. 14-02-20-08
(ADOPTED 2-20-2014)**

AMENDED BY:

- ORDINANCE NO. 14-10-16-35: DRAINAGE
EASEMENT REVISION AND DETENTION POND
REMOVAL (ADOPTED 10-16-2014)**

ORDINANCE NO. 14-02-20-08
PARKRIDGE PASS PLANNED DEVELOPMENT DISTRICT

AN ORDINANCE AMENDING A PORTION OF PLANNED DEVELOPMENT ORDINANCE NO. 86-04-21-05 (PD 3) FOR C-1 USES ON LOTS 1 AND 2, BLOCK 1, OF THE PARKRIDGE PASS ADDITION TO THE CITY OF CORINTH; APPROVING A DETAILED SITE PLAN FOR LOT 1; PROVIDING FOR A PENALTY NOT TO EXCEED \$2,000; PROVIDING FOR PUBLICATION AND A SEVERABILITY CLAUSE; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City of Corinth, Texas has adopted Ordinance 13-05-02-08, which adopts a Unified Development Code, which includes the Comprehensive Zoning Ordinance and which, in accordance with the City's Comprehensive Plan, establishes zoning districts and adopts a Zoning Map; and

WHEREAS, the hereinafter described property is zoned as Planned Development Classification under the City's Unified Development Code and a person having a proprietary interest in the property has requested a change in the zoning classification of said property; and

WHEREAS, the Planning and Zoning Commission of the City of Corinth and the City Council of the City of Corinth, having given the requisite notices by publication and otherwise, and after holding due hearings and affording a full and fair hearing to all the property owners generally, and to the persons interested and situated in the affected area and in the vicinity thereof, the City of Corinth City Council is of the opinion that said change in zoning should be made; and

WHEREAS, the City Council considered the following factors in making a determination as to whether the requested change should be granted or denied: safety of the motoring public and the pedestrians using the facilities in the area immediately surrounding the sites; safety from fire hazards and damages; noise producing elements and glare of the vehicular and stationary lights and effect of such lights on established character of the neighborhood; location, lighting and types of signs and relation of signs to traffic control and adjacent property; street size and adequacy of width for traffic reasonably expected to be generated by the proposed use around the site and in the immediate neighborhood; adequacy of parking as determined by requirements of this ordinance for off-street parking facilities; location of ingress and egress points for parking and off-street loading spaces, and protection of public health by surfacing on all parking areas to control dust; effect on the promotion of health and the general welfare; effect on light and air; effect on the over-crowding of the land; effect on the concentration of population, and effect on transportation, water, sewerage, schools, parks and other public facilities; and

WHEREAS, the City Council further considered among other things the character of the districts and their peculiar suitability for particular uses and the view to conserve the value of the buildings, and encourage the most appropriate use of the land throughout this City; and

WHEREAS, the City Council finds that the change in zoning promotes the health and the general welfare, provides adequate light and air, prevents the over-crowding of land, avoids undue concentration of population, and facilitates the adequate provision of transportation, water, sewerage, schools, parks and other public requirements; and the general health, safety and welfare of the community;

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF CORINTH, TEXAS:

SECTION I - LEGAL PROPERTY DESCRIPTION; AMENDMENT

That in accordance with the Unified Development Code, the Zoning Map of the City of Corinth is hereby amended for property legally described as 2.81 acres within the Planned Development Zoning District

being Lot 1 and a portion of Lot 2, Parkridge Pass, an addition in the City of Corinth, Denton County, Texas; more particularly described in the metes and bounds description set forth in "Exhibit A" attached and incorporated by reference herein.

SECTION II – SITE PLAN

The Site Plan documents for Lot 1, Block 1, approved and described as "Exhibit B" attached hereto and made a part hereof for all purposes shall be adhered to in their entirety for the purposes of existing and proposed development of the property.

SECTION III – LAND USE REGULATIONS

- A. The Zoning and Land Use Regulations set forth in "Exhibit C" attached hereto and made a part hereof for all purposes shall be adhered to in its entirety for the purposes of this Planned Development Commercial District.
- B. That the zoning regulations and districts as herein established have been made in accordance with the Comprehensive Plan for the purpose of promoting the health, safety, morals and the general welfare of the community. They have been designed, with respect to both present conditions and the conditions reasonably anticipated to exist in the foreseeable future; to lessen congestion in the streets; to provide adequate light and air; to prevent over-crowding of land; to avoid undue concentration of population; and to facilitate the adequate provision of transportation, water, sewerage, drainage and surface water, parks and other commercial needs and development of the community. They have been made after a full and complete hearing with reasonable consideration among other things of the character of the district and its peculiar suitability for the particular uses and with a view of conserving the value of buildings and encouraging the most appropriate use of land throughout the community

SECTION IV – PENALTY FOR VIOLATIONS

Any person, firm, or corporation violating any of the provisions of this ordinance shall upon conviction be fined a sum not to exceed two thousand dollars (\$2,000.00); and each and every day that these provisions are violated shall constitute a separate and distinct offense.

SECTION V – SEVERABILITY CLAUSE

If any section, paragraph, clause, phrase or provision of this ordinance shall be adjudged invalid or held unconstitutional, the same shall not affect the validity of this ordinance as a whole, or any part or provision thereof, other than the part so decided to be invalid or unconstitutional.

SECTION VI – EFFECTIVE DATE

This ordinance shall become effective after approval and publication as provided by law.

PASSED AND APPROVED THIS 20th DAY OF FEBRUARY 2014.



APPROVED:

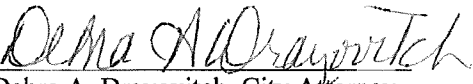

Paul Ruggiere, Mayor

ATTEST:



Kimberly Pence, City Secretary

APPROVED AS TO FORM:



Debra A. Drayovitch, City Attorney

EXHIBIT "A"

LEGAL DESCRIPTION / METES AND BOUNDS

WHEREAS Parkridge Pass, Ltd. is the owner of all that certain lot, tract or parcel of land situated in the E. Marsh Survey, Abstract Number 833, Denton County, Texas, being a part of a called 5.451 acre tract of land described in County Clerk File Number 2006-78827, Real Property Records, Denton County, Texas, the subject tract being more particularly described as follows;

BEGINNING at a TXDOT monument found for the Southwest corner of the herein described tract in the North line of F.M. Road 2181, the West line of said 5.451 acre tract and the East line of a tract of land described in a deed to Markwardt Investment Holdings, LLC, as recorded in County Clerk File Number 2007-14677, Real Property Records, Denton County, Texas;

THENCE North 00 degrees 28 minutes 56 seconds West with the East line thereof and the West line of said 5.451 acre tract, along or near a wire fence, at a distance of 308.09 feet passing a 5/8" iron rod found, continuing along said course, a total distance of 366.85 feet to a point in a pond for the Northwest corner of said 5.451 acre tract, the Northeast corner of said Markwardt tract, the Northwest corner of the herein described tract and being in the South line of a tract of land described in a deed to Fannie Mae, as recorded in County Clerk File Number 2010-75456, Real Property Records, Denton County, Texas;

THENCE South 68 degrees 36 minutes 43 seconds East with the South line thereof, the North line of said 5.451 acre tract and the North line of the herein described tract, a distance of 264.34 feet to an axle found for an angle point in said line;

THENCE North 89 degrees 46 minutes 52 seconds East with the South line of said Fannie Mae tract and the North line of said 5.451 acre tract, a distance of 165.92 feet to a capped iron rod set for the Northeast corner of the herein described tract;

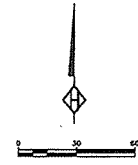
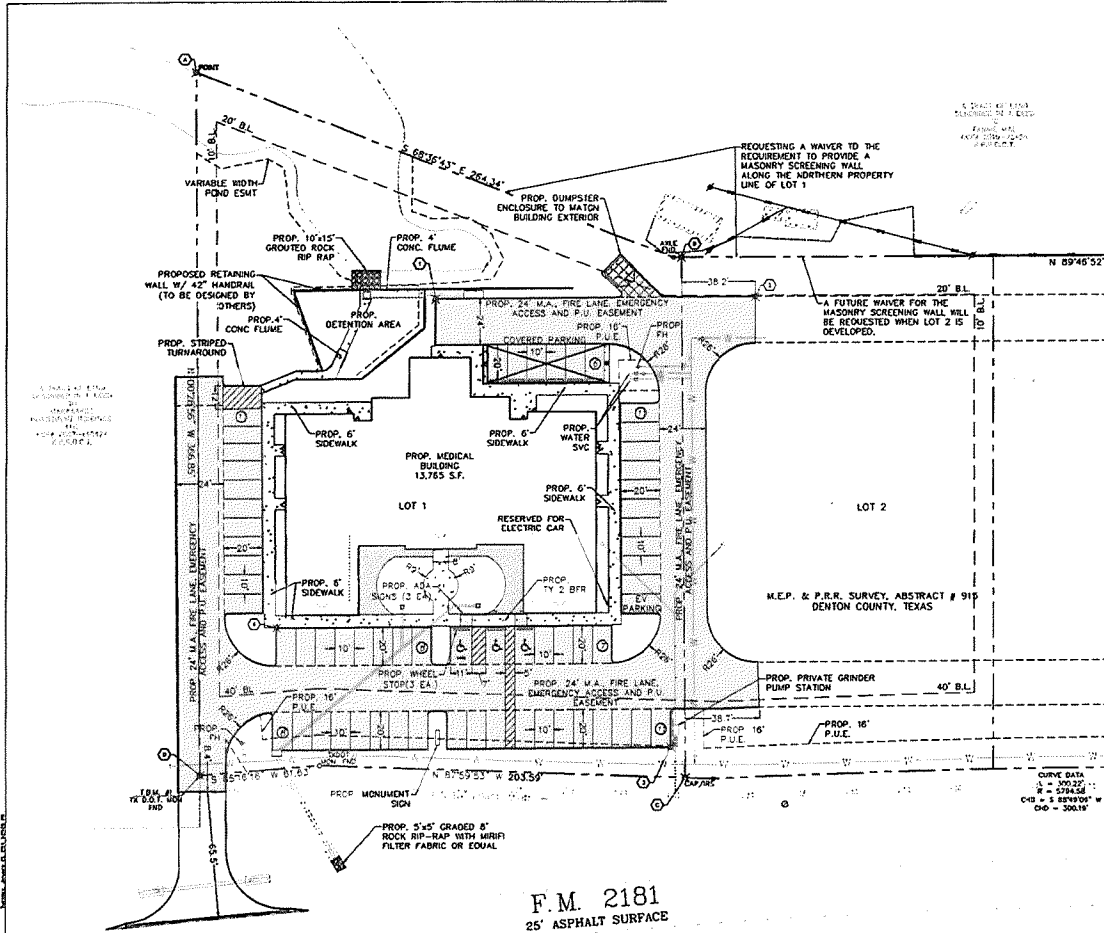
THENCE South 00 degrees 13 minutes 08 seconds East with a line severing said 5.451 acre tract, a distance of 268.17 feet to a capped iron rod set in the South line thereof and the North line of said Road for the Southeast corner of the herein described tract, said corner also being in a curve to the left having a radius of 5794.58 feet and a chord bearing and distance of South 88 degrees 03 minutes 09 seconds West, 145.19 feet;

THENCE Southwesterly with the arc of said curve and the North line of said Road, an arc distance of 145.19 feet to a capped iron rod set for angle point on the South line of the herein described tract;

THENCE North 87 degrees 59 minutes 53 seconds West with the North line of said Road, a distance of 203.59 feet to a TXDOT monument found for an angle point in the South line of the herein described tract;

THENCE South 85 degrees 16 minutes 16 seconds West with the North line of said Road, a distance of 61.63 feet to the PLACE OF BEGINNING and enclosing 2.81 acres of land more or less.

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 PARKRIDGE PASS
 PLANNED DEVELOPMENT DISTRICT
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SITE INFORMATION - LOT 1	
EXISTING ZONING	PD-3
PROPOSED ZONING	PD-3 (AMENDED)
LAND USE DESIGNATION	MEDICAL OFFICE
GROSS ACREAGE	1.81
NET ACREAGE	1.10
NUMBER OF PROPOSED LOTS	1
PERCENTAGE OF SITE COVERAGE	21
AREA OF OPEN SPACE	0.71 AC
PERCENTAGE OF OPEN SPACE	79
AREA OF IMPERVIOUS COVERAGE	1.10 AC
PERCENTAGE OF IMPERVIOUS COVERAGE	61
PROPOSED BUILDING AREA	13,765
NUMBER OF STORES	1
MAXIMUM BUILDING HEIGHT	36'
PROPOSED FLOOR USE AREA	MEDICAL @ 1 SPACE/200 SF PHARMACY @ 1 SPACE/200 SF
REQUIRED PARKING	50 SPACES
PROVIDED PARKING	STANDARD 50 SPACES HANDICAP 3 SPACES TOTAL 53 SPACES
REQUIRED LOADING SPACES	0 SPACES
PROVIDED LOADING SPACES	0 SPACES
PERCENTAGE OF OUTSIDE STORAGE	0%
START CONSTRUCTION (MONTH/YEAR)	02/14
END CONSTRUCTION (MONTH/YEAR)	10/14

NOTE:
 IMPERVIOUS CALCULATIONS DO NOT INCLUDE PAVING BEYOND THE BOUNDARIES OF LOT 1.

LEGEND	
IR.F	IRON ROD FOUND
IR.S	IRON ROD SET
C	CUT X IN CONCRETE
F.C.P.	FENCE CORNER POST
ASPH	ASPHALT
TM	TELEPHONE MANHOLE
PO	POWER POLE
LP	LIGHT POLE
WV	WATER VALVE
SSW	SANITARY SEWER MANHOLE
FM	FIRE HYDRANT
WM	WATER METER

PAVEMENT LEGEND	
[Pattern]	QUICKSET PAV. PAVEMENT PROPOSED 5" 4,000 PS CONC. @ 28 DAYS WITH #3 BARS @ 18" O.C.E.W.
[Pattern]	HEAVY DUTY PAVEMENT (FIRE LANE) PROPOSED 7" 3,600 PS CONC. @ 28 DAYS WITH #4 BARS @ 18" O.C.E.W.
[Pattern]	LIGHT DUTY PAVEMENT (PARKING) PROPOSED 6" 3,600 PS CONC. @ 28 DAYS WITH #3 BARS @ 18" O.C.E.W.
[Pattern]	ASPHALTIC CONCRETE (DRIVE APPROACH) PROPOSED 4" 11" 10" FMAC ON 6" OF FLEX BASE COMPACTED TO A MINIMUM 95% STANDARD PROCTOR DENSITY
[Pattern]	SIDEWALK PAVEMENT PROPOSED 4" 3,500 PS CONC. @ 28 DAYS WITH #3 BARS @ 18" O.C.E.W.

PAVEMENT NOTES:

- ALL PAVEMENT SUBGRADE SHALL BE SCARIFIED TO A MINIMUM DEPTH OF 6" AND COMPACTED TO A MINIMUM 95% STANDARD PROCTOR DENSITY AT 1" OR ABOVE OPTIMUM MOISTURE.
- THE CONTRACTOR SHALL DOWEL & EROD #4 X 24" SMOOTH BARS @ 24" CENTERS ALONG ALL PROPOSED TO EXISTING CONCRETE EDGES W/ 3/4" EXPANSION JOINT & SELF LEVELING JOINT SEALING COMPOUND.
- THE CONTRACTOR SHALL PROVIDE A 1/2" EXPANSION JOINT W/ SELF LEVELING JOINT SEALING COMPOUND BETWEEN THE PROPOSED CONCRETE PAVEMENT AND THE PROPOSED BUILDING.

F.M. 2181
 25' ASPHALT SURFACE

DESIGN POINTS					
PT	NORTHING	EASTING	PT	NORTHING	EASTING
(A)	7097539.6886	2407872.9087	(1)	7097421.4849	2407996.7176
(B)	7097443.3008	2408123.1337	(2)	7097422.8570	2408161.5441
(C)	7097171.3363	2408126.1179	(3)	7097187.2197	2408118.4720
(D)	7097172.8513	2407873.9964	(4)	7097249.7746	2407915.0220

ITE TRIP GENERATION RATES										
PROPOSED LAND USE	ITE CODE	QUANTITY	UNIT OF MEASURE	WEEKDAY	AM			PM		
					TOTAL	ENTER	EXIT	TOTAL	ENTER	EXIT
MEDICAL OFFICE	720	12,110	SF	T=36.13(X)	T=2.3(X)	75%	21%	T=3.46(X)	27%	73%
				438	28	22	6	42	11	31
				T=90.06(X)	T=3.20(X)	59%	41%	T=8.42(X)	50%	50%
PHARMACY	880	1,655	SF	149	5	3	2	14	7	7
				507	33	25	8	56	18	38
				TOTAL						

SOURCE: 8th EDITION, I.T.E. TRIP GENERATION MANUAL

PRELIMINARY PLANS
 THIS DOCUMENT IS FOR INTERIM REVIEW AND IS NOT INTENDED FOR CONSTRUCTION, BIDDING OR PERMIT PURPOSES.
 STEVEN R. HOMMEYER, PE # 86942
 DATE: 01/21/2014

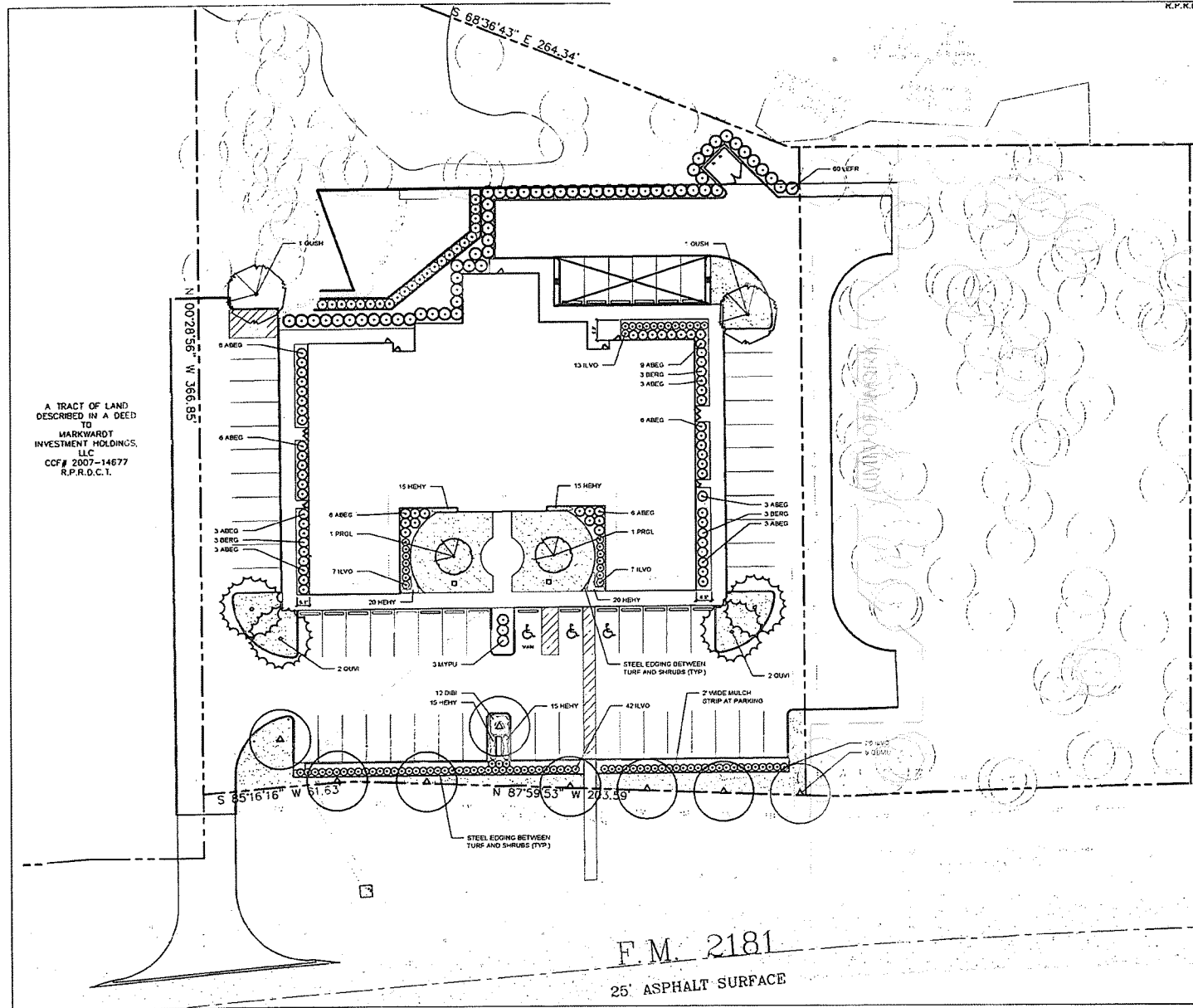
HOMMEYER ENGINEERING INC.
 P.E. BOB 86937 & LEWISVILLE, TX F-8440
 972-988-9900 WWW.HET.US.COM



CORINTH FAMILY MEDICINE AND
 PEDIATRICS CENTER
 LOT 1 BLOCK A
 PARKRIDGE PASS ADDITION
 1.81 ACRES
 CITY OF CORINTH,
 DENTON COUNTY, TEXAS

SITE PLAN

DRAWN: NEB
 DATE: 06/25/13
 HET #: 13-148
 SHEET NO:
 C2



SEE SHEET LP2
 FOR LEGEND
 AND LANDSCAPE
 CALCULATIONS

HOMMEYER
 ENGINEERING INC.
 TOPSOIL FIRM REGISTRATION NO. F04040
 P.O. BOX 204527 • LEWISVILLE, TEXAS • 75049-29
 PHONE # 972-955-9988 • FAX # 972-955-9987
 WWW.HOMMEYER.COM



CORINTH FAMILY MEDICINE AND
 PEDIATRICS CENTER
 LOT 1, BLOCK A
 PARKRIDGE PASS ADDITION
 1.81 ACRES
 CITY OF CORINTH
 DENTON COUNTY, TEXAS

PLANTING PLAN



1/16/2014

EVERGREEN
 DESIGN GROUP
 1500 GRIFFIN
 15149 Dallas Pkwy., Ste 200
 Addison, TX 75001
 www.evergreengroup.com

DRAWN: LML
 DATE: 06/25/13
 HEI #: 13-148

SHEET NO:
 LP1

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PLANTING SPECIFICATIONS

- GENERAL**
1. **QUALITY OF LANDSCAPE CONTRACTOR**
A. LANDSCAPE CONTRACTOR SHALL BE LICENSED BY A LICENSE FROM SPECIALIZED LANDSCAPE CONTRACTOR
 2. **PLANTING**
A. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SELECTION, PURCHASE, DELIVERY, AND PLANTING OF ALL PLANTS AND MATERIALS.
B. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SELECTION, PURCHASE, DELIVERY, AND PLANTING OF ALL PLANTS AND MATERIALS.
C. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SELECTION, PURCHASE, DELIVERY, AND PLANTING OF ALL PLANTS AND MATERIALS.

- PRODUCTS**
1. **ALL MANUFACTURED PRODUCTS BE IN ACCORDANCE WITH THE FOLLOWING:**
A. **WOOD** - ALL WOOD SHALL BE DRY (MOISTURE CONTENT 19% MAX) AND SHALL BE FULLY TREATED WITH A PRESERVATIVE TO PROTECT AGAINST TERMITES AND OTHER INSECTS.
B. **STEEL** - ALL STEEL SHALL BE GALVANNEALIZED OR GALVALUME TO PROTECT AGAINST CORROSION.
C. **CONCRETE** - ALL CONCRETE SHALL BE 3000 PSI AND SHALL BE FULLY CURED AND FINISHED TO THE FINISH SPECIFIED IN THE CONTRACT DOCUMENTS.

2. **GENERAL PLANTING**
A. **REMOVE ALL EXISTING TAGS AND TAGS FROM PLANTS**
B. **EXCAVATE TO DEPTH TO BE PLANTED WITH DIMENSIONAL GRADES. APPLY THE DIMENSIONS WITHIN THE SPECIFICATIONS AS RECOMMENDED.**
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3. **TREE PLANTING**
A. **REMOVE ALL EXISTING TAGS AND TAGS FROM PLANTS**
B. **EXCAVATE TO DEPTH TO BE PLANTED WITH DIMENSIONAL GRADES. APPLY THE DIMENSIONS WITHIN THE SPECIFICATIONS AS RECOMMENDED.**
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4. **SHRUB AND PERENNIAL PLANTING**
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5. **PLANTING NOTES**
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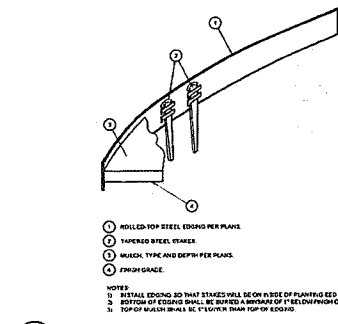
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SYMBOL	BOTANIC NAME	COMMON NAME	SIZE	SPACING	QUANTITY	REMARKS
TR01	<i>Prosopis glandulosa</i> Mill.	Thornless Honey Mesquite	2" cal., 30" H	Per plan	2	Multitrunk, 3-5 canes, 6-7' high
OU01	<i>Quercus muhlenbergii</i>	Chinquapan Oak	4" cal., 30" H	Per plan	0	10-12' high, street tree
OU02	<i>Quercus shumardii</i>	Shumard Red Oak	4" cal., 30" H	Per plan	2	10-12' high, parking lot tree
OU03	<i>Quercus virginiana</i>	Live Oak	4" cal., 30" H	Per plan	4	10-12' high, parking lot tree

SYMBOL	BOTANIC NAME	COMMON NAME	SIZE	SPACING	QUANTITY	REMARKS
SH01	<i>Abelia</i> 'Edward Doucette'	Edward Goucher Abelia	#5	4' c.c.	57	
BERG	<i>Berberis thunbergii</i> 'Rose Glow'	Rose Glow Barberry	#5	4' c.c.	15	
ILVO	<i>Ilex vomitoria</i> 'Nana'	Dwarf Yaupon Holly	#5	3' c.c.	101	
JRBC	<i>Juniperus horizontalis</i> 'Blue Chip'	Blue Chip Juniper	#3	3' c.c.	0	
LEFR	<i>Leucophyllum frutescens</i>	Texas Sage	#5	3' c.c.	60	
MYPU	<i>Myrica pauciflora</i>	Dwarf Wax Myrtle	#5	3' c.c.	3	

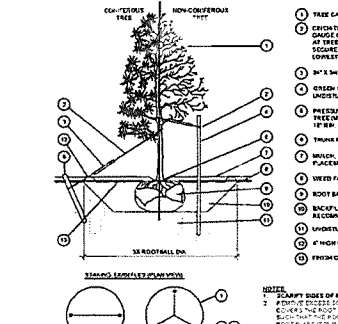
SYMBOL	BOTANIC NAME	COMMON NAME	SIZE	SPACING	QUANTITY	REMARKS
DIPI	<i>Dianthus barbatus</i>	Butterfly Iris	#5	24" c.c.	12	
HEMY	<i>Hebe marginata</i>	Daylily	#1	12" c.c.	100	Pink/purple variegated, 18-24" high

SYMBOL	BOTANIC NAME	COMMON NAME	SIZE	SPACING	QUANTITY	REMARKS
TURF	<i>Cynodon D'Alley</i> #1P	Turf Hybrid Bermuda Grass	Seed	
		Blackland Prairie Mix	Hydro-mulch	0.25 sq ft, 1000 sq ft	...	
		Blackland Prairie Mix	Hydro-mulch	0.25 sq ft, 1000 sq ft	...	



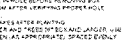
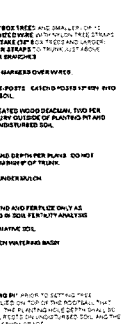
GENERAL PLANTING NOTES

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LANDSCAPE CALCULATIONS

LANDSCAPE EDGE	TOTAL FRONTAGE	TOTAL LANDSCAPE AREA	TOTAL LANDSCAPE AREA PROVIDED	TOTAL TREES ON SITE	TOTAL TREES TO MITIGATE	TOTAL TREES TO MITIGATE	REMAINING MITIGATION SHALL BE PAID INTO THE CITY'S TREE FUND
LANDSCAPE EDGE	252.1' (DEVELOPED AREA ONLY)	62 SQ FT (10 SF PER PARKING SPACE)	7 TREES (ONE TREEMIG LO)	137 INCHES TOTAL	60 INCHES	77 INCHES	
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HOMMEYER ENGINEERING, INC.
1811 ACRES
CITY OF CORINTH
DENTON COUNTY, TEXAS
972-966-9987 FAX
972-966-9985 PHONE # 972-966-9987 FAX
WWW.HETI.US.COM

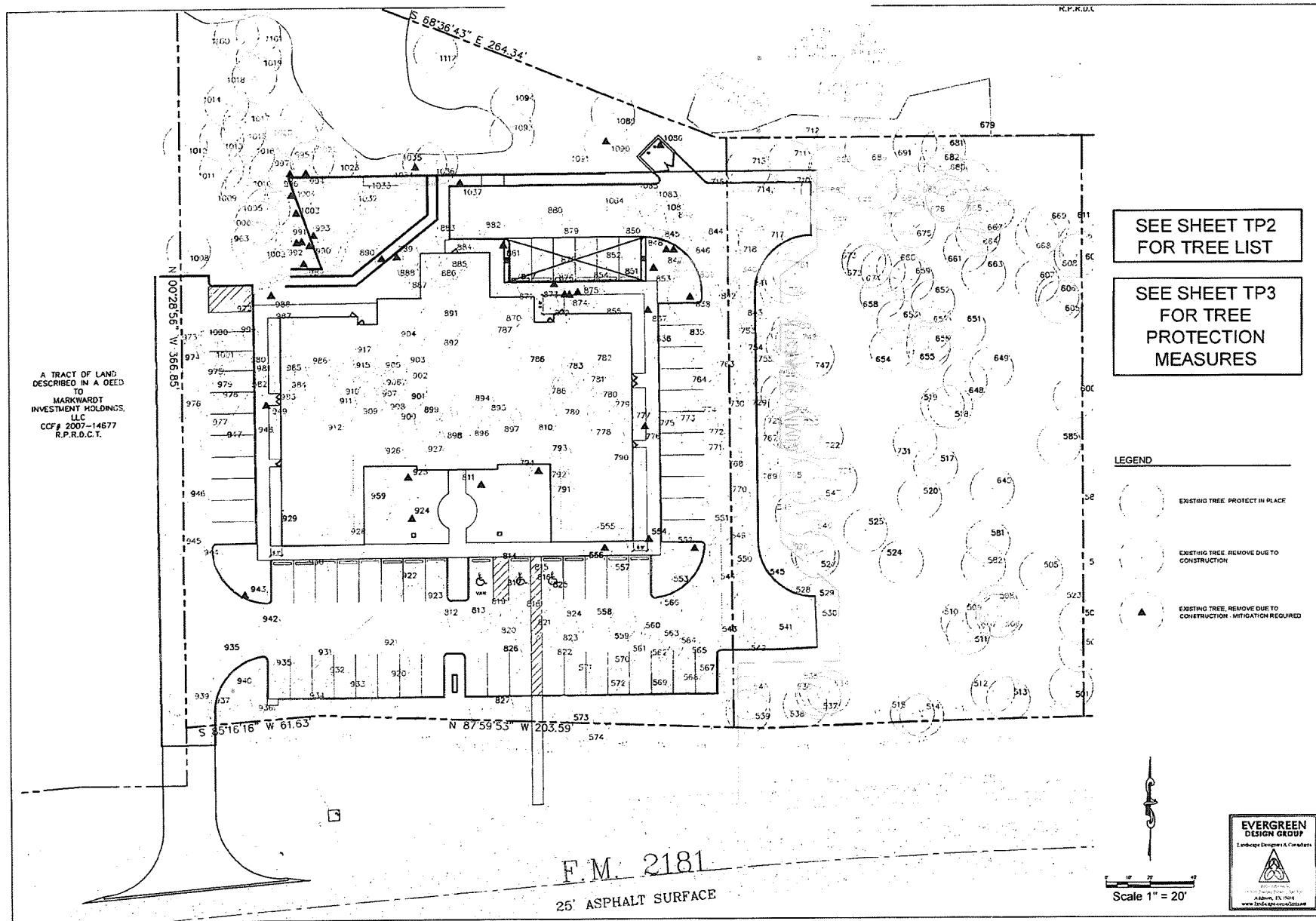
**CORINTH MEDICINE AND
PEDIATRICS CENTER
LOT 1, BLOCK A
PARKRIDGE PASS ADDITION
1.81 ACRES
CITY OF CORINTH
DENTON COUNTY, TEXAS**

**PLANTING
DETAILS AND
SPECS**

EVERGREEN DESIGN GROUP
Landscape Design & Construction
116/2014
DATE: 06/25/13
HEI #: 13-148
SHEET NO: LP2

EVERGREEN DESIGN GROUP
Landscape Design & Construction
116/2014
DATE: 06/25/13
HEI #: 13-148
SHEET NO: LP2

ORDINANCE NO. 14-02-20-08
 PARKRIDGE PASS
 PLANNED DEVELOPMENT DISTRICT
 Page 9



A TRACT OF LAND
 DESCRIBED IN A DEED
 TO
 MARKWARDT
 INVESTMENT HOLDINGS,
 LLC
 CCF# 2007-14677
 R.P.R.D.C.T.

SEE SHEET TP2
 FOR TREE LIST

SEE SHEET TP3
 FOR TREE
 PROTECTION
 MEASURES

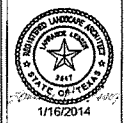
- LEGEND
- EXISTING TREE, PROTECT IN PLACE
 - EXISTING TREE, REMOVE DUE TO CONSTRUCTION
 - EXISTING TREE, REMOVE DUE TO CONSTRUCTION - MITIGATION REQUIRED



HOMEYER ENGINEERING, INC.
 1000 W. UNIVERSITY BLVD., SUITE 100
 LEWISVILLE, TEXAS 75040
 P.O. BOX 204527 • LEWISVILLE, TEXAS 75029
 972-906-9985 PHONE • 972-906-9987 FAX
 WWW.HEI.US.GOV

CORINTH FAMILY MEDICINE AND
 PEDIATRICS CENTER
 LOT 1, BLOCK A
 PARKRIDGE PASS ADDITION
 1.81 ACRES
 CITY OF CORINTH
 DENTON COUNTY, TEXAS

TREE SURVEY
 AND
 PROTECTION
 PLAN



DRAWN: LML
 DATE: 06/25/13
 HEI #: 13-148
 SHEET NO:
 TP1

F.M. 2181
 25' ASPHALT SURFACE

ORDINANCE NO. 14-02-20-08
 PARKRIDGE PASS
 PLANNED DEVELOPMENT DISTRICT
 Page 10

TREE LEGEND

#	DBH	SPECIES	PROTECT	REMOVE	#	DBH	SPECIES	PROTECT	REMOVE	#	DBH	SPECIES	PROTECT	REMOVE	#	DBH	SPECIES	PROTECT	REMOVE
201	12	Oak			271	12	Oak			341	12	Oak			411	12	Oak		
202	12	Oak			272	12	Oak			342	12	Oak			412	12	Oak		
203	12	Oak			273	12	Oak			343	12	Oak			413	12	Oak		
204	12	Oak			274	12	Oak			344	12	Oak			414	12	Oak		
205	12	Oak			275	12	Oak			345	12	Oak			415	12	Oak		
206	12	Oak			276	12	Oak			346	12	Oak			416	12	Oak		
207	12	Oak			277	12	Oak			347	12	Oak			417	12	Oak		
208	12	Oak			278	12	Oak			348	12	Oak			418	12	Oak		
209	12	Oak			279	12	Oak			349	12	Oak			419	12	Oak		
210	12	Oak			280	12	Oak			350	12	Oak			420	12	Oak		
211	12	Oak			281	12	Oak			351	12	Oak			421	12	Oak		
212	12	Oak			282	12	Oak			352	12	Oak			422	12	Oak		
213	12	Oak			283	12	Oak			353	12	Oak			423	12	Oak		
214	12	Oak			284	12	Oak			354	12	Oak			424	12	Oak		
215	12	Oak			285	12	Oak			355	12	Oak			425	12	Oak		
216	12	Oak			286	12	Oak			356	12	Oak			426	12	Oak		
217	12	Oak			287	12	Oak			357	12	Oak			427	12	Oak		
218	12	Oak			288	12	Oak			358	12	Oak			428	12	Oak		
219	12	Oak			289	12	Oak			359	12	Oak			429	12	Oak		
220	12	Oak			290	12	Oak			360	12	Oak			430	12	Oak		
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A PLUS DESIGN GROUP
 ARCHITECTURE
 INTERIORS
 CONSTRUCTION
 972-724-4440
 972-691-7731 FAX
 APDG.US

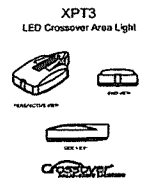
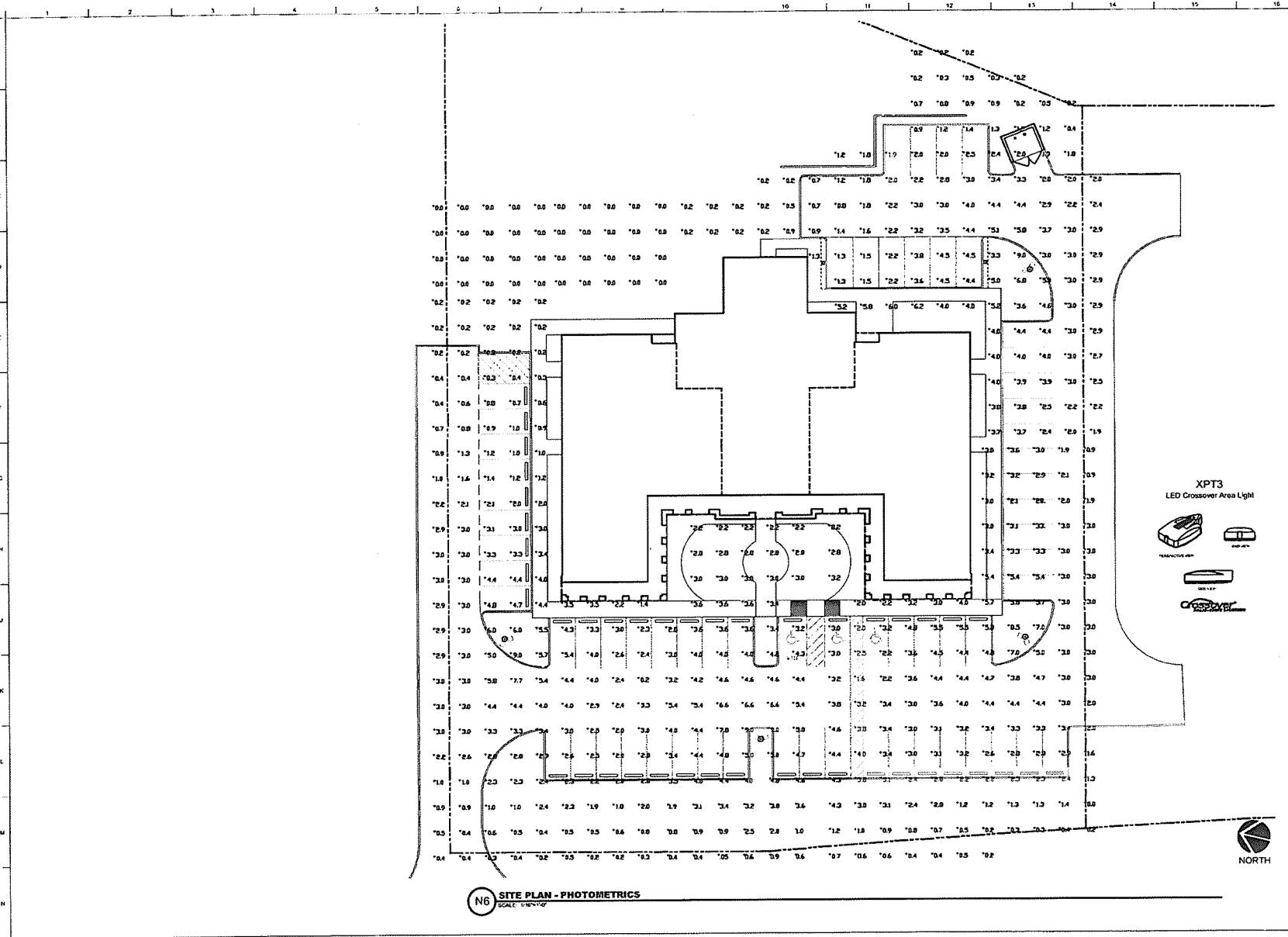
Trent VV Clark, Architect
 TX Registration #17004
PRELIMINARY
NOT FOR
CONSTRUCTION
 These Drawings are
 incomplete and may require
 specific regulatory approval
 prior to construction

A NEW MEDICAL OFFICE FOR:
**Corinth Family Medicine
 and Pediatrics Center**
 Corinth, TX

REVISIONS		
No.	DATE	NOTE

Drawn by: KCL
 Checked by: J.C.
 Project No: 13-0001
 Date: 1-14-2014

SITE PLAN
 PHOTOMETRICS



N6 SITE PLAN - PHOTOMETRICS
 SCALE: 1/8"=1'-0"

A1.0



A PLUS DESIGN GROUP
 ARCHITECTURE
 INTERIORS
 CONSTRUCTION
 972-724-1440
 972-691-7731 FAX
 APDG.US
 www.apdg.us



03-10-2014

A NEW MEDICAL OFFICE FOR:
**Corinth Family Medicine
 and Pediatrics Center**
 Corinth, TX

REVISIONS		
NO.	DATE	NOTE

Drawn by: M.L.
 Checked by: J.C.
 Project No: 13-2807
 Date: 03-10-2014

EXTERIOR ELEVATIONS,
 EXTERIOR FINISHES &
 WINDOW TYPES

A3.2

D1 PARTIAL WEST ELEVATION
SCALE: 1/8"=1'-0"

D5 SOUTH ELEVATION
SCALE: 1/8"=1'-0"

G7 WEST ELEVATION
SCALE: 1/8"=1'-0"

K7 EAST ELEVATION
SCALE: 1/8"=1'-0"

N5 NORTH ELEVATION
SCALE: 1/8"=1'-0"

N1 FRONT ELEVATION AT DUMPSTER
SCALE: 1/8"=1'-0"

J1 GATE ELEVATION
SCALE: 1/8"=1'-0"

L1 FRONT ELEVATION AT COVERED PARKING
SCALE: 1/8"=1'-0"

	STONE	BRICK	CMU	WINDOWS/DOORS
NORTH	202 S.F. (8%)	783 S.F. (29%)	1658 S.F. (63%)	315 S.F. (11%)
EAST	483 S.F. (22%)	1002 S.F. (45%)	748 S.F. (33%)	159 S.F. (7%)
SOUTH	1270 S.F. (89%)	406 S.F. (22%)	748 S.F. (33%)	159 S.F. (7%)
WEST	483 S.F. (22%)	1002 S.F. (45%)	748 S.F. (33%)	159 S.F. (7%)
PARTIAL WEST	447 S.F. (51%)	431 S.F. (49%)		
PARTIAL EAST	447 S.F. (51%)	431 S.F. (49%)		
DUMPSTER			59 S.F. (100%)	

1. STONE AND BRICK ARE CLASS 1 MASONRY CONSTRUCTION.
 2. CMU IS CLASS 2 MASONRY CONSTRUCTION.

FRONT ELEVATION AT COVERED PARKING
 SOLID GATE: 2x2 TUBE STEEL WITH 1/2" ANGLE BRACE FRAME WITH 1/2" X 1/2" HOLES. USE 1/4" ANGLES AT PERIMETER FOR PANEL SUPPORT.
 METAL GATE PANELS
 PROVIDE HEAVY DUTY GALVANNEED STEEL LATCH AND CAME BOLTS.

FRONT ELEVATION AT DUMPSTER
 6" DIA. CONCRETE FILLED PIPE BOLLARDS, WELD HEAVY DUTY PIPES TOP/BOTTOM FOR GATE.
 NOTE: PREPARE STEEL FOR PRIMER AND PAINT PER APPROPRIATE CODE.



VIEW TOWARDS FRONT ENTRANCE

Corinth Family Medicine & Pediatrics

CORINTH, TEXAS

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CORINTH, TEXAS

JANUARY 27, 2014
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EXHIBIT "C"

LAND USE REGULATIONS

SECTION 1: PLANNED DEVELOPMENT DISTRICT REGULATIONS

A. Purpose

The Corinth Family Medicine and Pediatrics Center Planned Development is intended to provide for the development of a medical office for pediatric and family practice care with an on-site pharmacy.

B. Base Districts

The regulations of the "C-1" District, as amended from time to time, shall apply to the development of the property except as modified herein.

SECTION 2: DEVELOPMENT REGULATIONS

A. Permitted Uses and Use Regulations

The Permitted Uses in the Section 2.05.01 of the Unified Development Code, Ordinance No. 13-05-02-08, for the Commercial-1 (C-1) District, as amended from time to time, shall control the development of the property. No building or land shall be used and no building shall be hereafter erected, reconstructed, enlarged or converted, unless permitted by the Commercial-1 (C-1) District regulations of the Unified Development Code.

B. Dimensional Regulations

The Dimensional Regulations described in Section 2.05.01 of the Unified Development Code, Ordinance No. 13-05-02-08, for the Commercial-1 (C-1) District, as amended from time to time, shall apply to this District.

C. Development Standards for Lot 1, Block 1

The Development Standards described in Section 2.05.01 of the Unified Development Code, Ordinance No. 13-05-02-08, for the Commercial-1 (C-1) District, as amended from time to time, shall apply to the District as follows:

1. UDC Section 2.07.07 **Accessory Buildings and Uses** shall apply.
2. UDC Section 2.09.01 **Landscape Regulations** shall apply except:
 - a. The front yard landscape edge may meander so long as the total square feet of landscape edge is equivalent to a landscaped edge 15 feet in width.
3. UDC Section 2.09.02 **Tree Preservation** shall apply except:
 - a. A Tree Coverage Analysis has been performed to show that the site is considered a "Heavily Treed Site" with tree canopy coverage of 50 percent or more of its total land area excluding the pond area.
 - b. 60" of protected trees are required to be mitigated.

4. UDC Section 2.09.03 **Vehicle Parking Regulations** shall apply except that covered parking as shown on the Site Plan, Exhibit "B", is permitted.
5. UDC Section 2.09.04 **Building Façade Material Standards** shall apply except:
 - a. The exterior facades of a main building on the rear elevation shall be of the proposed split face materials as shown on the Site Plan attached as Sheet A.3.2 of Exhibit "B" with with CMU (Class 2 masonry materials).
6. UDC Section 2.09.05 **Residential Adjacency Standards** shall apply except:
 - a. No wall is required to be constructed abutting the residential property to the north.
7. UDC Section 2.09.06 **Nonresidential Architectural Standards** shall apply.
8. UDC Section 2.09.07 **Lighting and Glare Regulations** shall apply.
9. UDC Section 4.01 **Sign Regulations** shall apply.
10. UDC Section 4.02 **Fence and Screening Regulations** shall apply.
11. The detention pond shall be enclosed with a fencing of wrought iron construction materials as shown on Exhibit "B."

D. Development Standards for Lot 2, Block 1

The Development Standards described in Section 2.05.01 of the Unified Development Code, Ordinance No. 13-05-02-08, for the Commercial-1 (C-1) District, as amended from time to time, shall apply to development within the District as follows:

1. UDC Section 2.07.07 **Accessory Buildings and Uses** shall apply.
2. UDC Section 2.09.02 **Tree Preservation** shall apply.
3. UDC Section 2.09.01 **Landscape Regulations** shall apply.
4. UDC Section 2.09.03 **Vehicle Parking Regulations** shall apply except that covered parking as shown on the Site Plan, Exhibit "B", is permitted.
5. UDC Section 2.09.04 **Building Façade Material Standards** shall apply.
6. UDC Section 2.09.05 **Residential Adjacency Standards** shall apply.
7. UDC Section 2.09.06 **Nonresidential Architectural Standards** shall apply.
8. UDC Section 2.09.07 **Lighting and Glare Regulations** shall apply.
9. UDC Section 4.01 **Sign Regulations** shall apply.
10. UDC Section 4.02 **Fence and Screening Regulations** shall apply.

ORDINANCE NO. 14-10-16-35

PARKRIDGE PASS PLANNED DEVELOPMENT DISTRICT

AN ORDINANCE AMENDING A PORTION OF PLANNED DEVELOPMENT ORDINANCE NO. 14-02-20-08 (PD 37) BY ADOPTING THE AMENDED SITE PLAN SPECIFICALLY REVISING DRAINAGE EASEMENTS AND REMOVING THE PROPOSED CONSTRUCTION OF A DETENTION POND ON LOT 1, BLOCK 1, OF THE PARKRIDGE PASS ADDITION TO THE CITY OF CORINTH; APPROVING A DETAILED SITE PLAN; PROVIDING FOR A PENALTY NOT TO EXCEED \$2,000; PROVIDING FOR PUBLICATION AND A SEVERABILITY CLAUSE; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City of Corinth, Texas has adopted Ordinance 13-05-02-08, which adopts a Unified Development Code, which includes the Comprehensive Zoning Ordinance and which, in accordance with the City's Comprehensive Plan, establishes zoning districts and adopts a Zoning Map; and

WHEREAS, the hereinafter described property is zoned as Planned Development District Classification under the City's Unified Development Code and a person having a proprietary interest in the property has requested a change in the zoning classification of said property; and

WHEREAS, the Planning and Zoning Commission of the City of Corinth and the City Council of the City of Corinth, having given the requisite notices by publication and otherwise, and after holding due hearings and affording a full and fair hearing to all the property owners generally, and to the persons interested and situated in the affected area and in the vicinity thereof, the City of Corinth City Council is of the opinion that said change in the approved site plan for said district; and

WHEREAS, the City Council considered the following factors in making a determination as to whether the requested change should be granted or denied: safety of the motoring public and the pedestrians using the facilities in the area immediately surrounding the sites; safety from fire hazards and damages; noise producing elements and glare of the vehicular and stationary lights and effect of such lights on established character of the neighborhood; location, lighting and types of signs and relation of signs to traffic control and adjacent property; street size and adequacy of width for traffic reasonably expected to be generated by the proposed use around the site and in the immediate neighborhood; adequacy of parking as determined by requirements of this ordinance for off-street parking facilities; location of ingress and egress points for parking and off-street loading spaces, and protection of public health by surfacing on all parking areas to control dust; effect on the promotion of health and the general welfare; effect on light and air; effect on the over-crowding of the land; effect on the concentration of population, and effect on transportation, water, sewerage, schools, parks and other public facilities; and

WHEREAS, the City Council further considered among other things the character of the districts and their peculiar suitability for particular uses and the view to conserve the value of the buildings, and encourage the most appropriate use of the land throughout this City; and

WHEREAS, the City Council finds that the proposed change promotes the health and the general welfare, provides adequate light and air, prevents the over-crowding of land, avoids undue concentration of population, and facilitates the adequate provision of transportation, water, sewerage, schools, parks and other public requirements; and the general health, safety and welfare of the community;

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF CORINTH, TEXAS:

SECTION I - LEGAL PROPERTY DESCRIPTION; AMENDMENT

That in accordance with the Unified Development Code, the Zoning Map of the City of Corinth is hereby amended for property legally described as 2.81 acres within the Planned Development Zoning District adopted with Ordinance No. 14-02-20-08, being Lot 1 and a portion of Lot 2, of the Parkridge Pass Addition; more particularly described in the metes and bounds description set forth in "Exhibit A" attached and incorporated by reference herein.

SECTION II - SITE PLAN

The Site Plan documents for Lot 1, Block 1, approved and described as "Exhibit B" attached hereto and made a part hereof for all purposes shall be adhered to in their entirety for the purposes of existing and proposed development of the property. This does not change the site plan for lot 2.

SECTION III - PENALTY FOR VIOLATIONS

Any person, firm, or corporation violating any of the provisions of this ordinance shall upon conviction be fined a sum not to exceed two thousand dollars (\$2,000.00); and each and every day that these provisions are violated shall constitute a separate and distinct offense.

SECTION IV - SEVERABILITY CLAUSE

If any section, paragraph, clause, phrase or provision of this ordinance shall be adjudged invalid or held unconstitutional, the same shall not affect the validity of this ordinance as a whole, or any part or provision thereof, other than the part so decided to be invalid or unconstitutional.

SECTION V - EFFECTIVE DATE

This ordinance shall become effective after approval and publication as provided by law.

PASSED AND APPROVED THIS 16th DAY OF OCTOBER, 2014.

APPROVED:



Paul Ruggiere
Paul Ruggiere, Mayor

ATTEST:

Kimberly Pence
Kimberly Pence, City Secretary

APPROVED AS TO FORM:

Debra A. Drayovitch
Debra A. Drayovitch, City Attorney

EXHIBIT "A"

LEGAL DESCRIPTION / METES AND BOUNDS

WHEREAS Parkridge Pass, Ltd. is the owner of all that certain lot, tract or parcel of land situated in the E. Marsh Survey, Abstract Number 833, Denton County, Texas, being a part of a called 5.451 acre tract of land described in County Clerk File Number 2006-78827, Real Property Records, Denton County, Texas, the subject tract being more particularly described as follows;

BEGINNING at a TXDOT monument found for the Southwest corner of the herein described tract in the North line of F.M. Road 2181, the West line of said 5.451 acre tract and the East line of a tract of land described in a deed to Markwardt Investment Holdings, LLC, as recorded in County Clerk File Number 2007-14677, Real Property Records, Denton County, Texas;

THENCE North 00 degrees 28 minutes 56 seconds West with the East line thereof and the West line of said 5.451 acre tract, along or near a wire fence, at a distance of 308.09 feet passing a 5/8" iron rod found, continuing along said course, a total distance of 366.85 feet to a point in a pond for the Northwest corner of said 5.451 acre tract, the Northeast corner of said Markwardt tract, the Northwest corner of the herein described tract and being in the South line of a tract of land described in a deed to Fannie Mae, as recorded in County Clerk File Number 2010-75456, Real Property Records, Denton County, Texas;

THENCE South 68 degrees 36 minutes 43 seconds East with the South line thereof, the North line of said 5.451 acre tract and the North line of the herein described tract, a distance of 264.34 feet to an axle found for an angle point in said line;

THENCE North 89 degrees 46 minutes 52 seconds East with the South line of said Fannie Mae tract and the North line of said 5.451 acre tract, a distance of 165.92 feet to a capped iron rod set for the Northeast corner of the herein described tract;

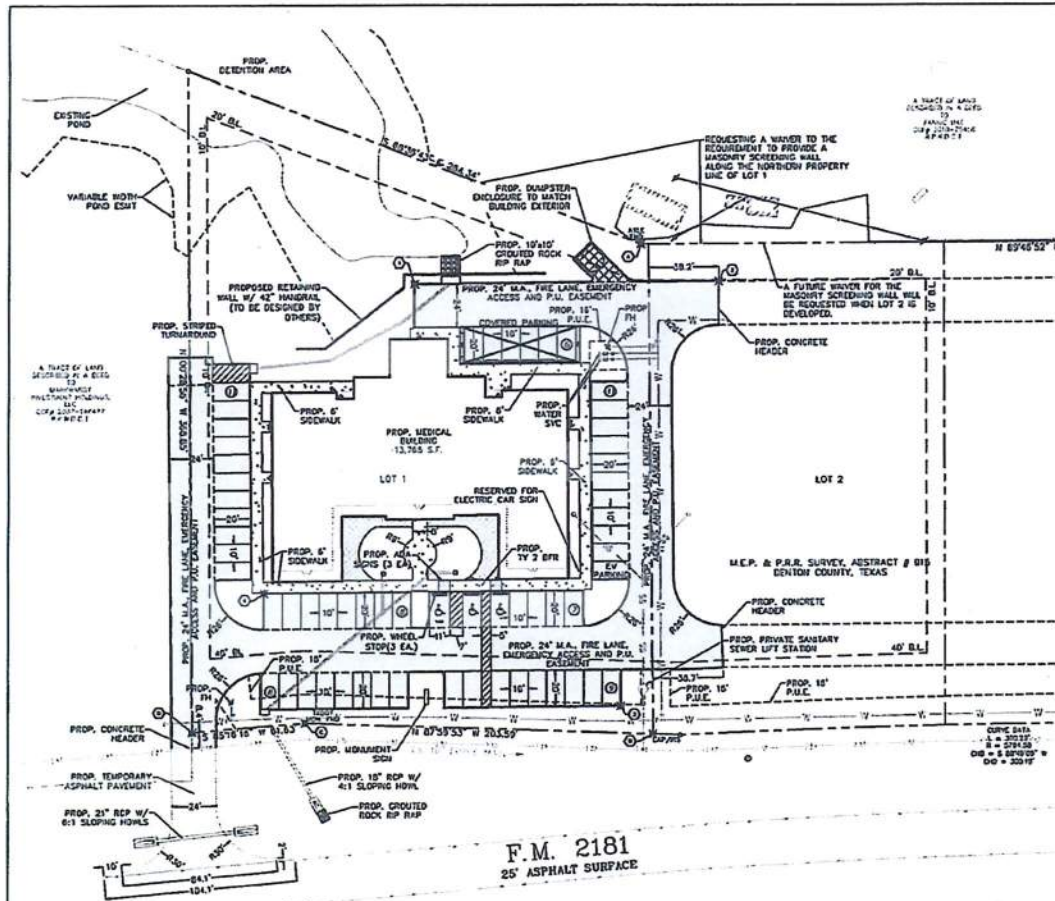
THENCE South 00 degrees 13 minutes 08 seconds East with a line severing said 5.451 acre tract, a distance of 268.17 feet to a capped iron rod set in the South line thereof and the North line of said Road for the Southeast corner of the herein described tract, said corner also being in a curve to the left having a radius of 5794.58 feet and a chord bearing and distance of South 88 degrees 03 minutes 09 seconds West, 145.19 feet;

THENCE Southwesterly with the arc of said curve and the North line of said Road, an arc distance of 145.19 feet to a capped iron rod set for angle point on the South line of the herein described tract;

THENCE North 87 degrees 59 minutes 53 seconds West with the North line of said Road, a distance of 203.59 feet to a TXDOT monument found for an angle point in the South line of the herein described tract;

THENCE South 85 degrees 16 minutes 16 seconds West with the North line of said Road, a distance of 61.63 feet to the PLACE OF BEGINNING and enclosing 2.81 acres of land more or less.

EXHIBIT B ORDINANCE #14-10-16-35



SITE INFORMATION - LOT 1	
EXISTING ZONING	PD-3
PROPOSED ZONING	PD-3 (AMENDED)
LAND USE DESIGNATION	MEDICAL OFFICE
GROSS ACREAGE	1.61 AC
NET ACREAGE	1.10 AC
NUMBER OF PROPOSED LOTS	1
PERCENTAGE OF SITE COVERAGE (BUILDING)	17%
AREA OF OPEN SPACE	0.72 AC
PERCENTAGE OF OPEN SPACE	40%
AREA OF IMPERVIOUS COVERAGE*	1.00 AC
PERCENTAGE OF IMPERVIOUS COVERAGE	62%
PROPOSED BUILDING AREA	13,765 SF
NUMBER OF STORIES	1
MAXIMUM BUILDING HEIGHT	35'
PROPOSED FLOOR USE AREA	12,110 SF
MEDICAL @ 1 SPACE/200 SF	1,655 SF
PHARMACY @ 1 SPACE/200 SF	1,655 SF
REQUIRED PARKING	50 SPACES
STANDARD	57 SPACES
HANDICAP	3 SPACES
TOTAL	60 SPACES
REQUIRED LOADING SPACES	0 SPACES
PROVIDED LOADING SPACES	0 SPACES
PERCENTAGE OF OUTSIDE STORAGE	0%
START CONSTRUCTION (MONTH/YEAR)	04/14
END CONSTRUCTION (MONTH/YEAR)	12/14

*IMPERVIOUS CALCULATIONS DO NOT INCLUDE PARKING BEYOND THE BOUNDARIES OF LOT 1.

LEGEND	
IRK	IRON ROD FOUND
IRS	IRON ROD SET
X	CUT X IN CONCRETE
FCP	FENCE CORNER POST
ASPH	ASPHALT
TM	TELEPHONE MANHOLE
PP	POWER POLE
LP	LIGHT POLE
WV	WATER VALVE
SSM	SANITARY SEWER MANHOLE
FH	FIRE HYDRANT
WM	WATER METER

PAVEMENT LEGEND	
	DAMPSTER PAD PAVEMENT PROPOSED 6" 4000 PSI CONC. @ 28 DAYS WITH #3 BARS @ 18" O.C.W.
	HEAVY DUTY PAVEMENT (EDGE LANE) PROPOSED 7" 3500 PSI CONC. @ 28 DAYS WITH #4 BARS @ 18" O.C.W.
	LIGHT DUTY PAVEMENT (PARKING) PROPOSED 6" 3500 PSI CONC. @ 28 DAYS WITH #3 BARS @ 18" O.C.W.
	ASPHALT CONCRETE (TRUCK APPROACH) PROPOSED 4" TY 10" INAC ON 6" OF FLEX BASE COMPACTED TO A MINIMUM 95% STANDARD PROCTOR DENSITY
	SEWER PAVEMENT PROPOSED 4" 3500 PSI CONC. @ 28 DAYS WITH #3 BARS @ 18" O.C.W.

PAVEMENT NOTES:

- ALL PAVEMENT SUBGRADE SHALL BE SCARIFIED TO A MINIMUM DEPTH OF 4" AND COMPACTED TO A MINIMUM 95% STANDARD PROCTOR DENSITY AT OR ABOVE OPTIMUM MOISTURE.
- THE CONTRACTOR SHALL SOUL & EXPOSE #1 & 2" SMOOTH BARS @ 24" CENTERING ALONG ALL PROPOSED TO EXISTING CONCRETE EDGES W/ 3/4" EXPANSION JOINT & SELF LEVELING JOINT SEALING COMPOUND.
- THE CONTRACTOR SHALL PROVIDE A 3" EXPANSION JOINT W/ SELF LEVELING JOINT SEALING COMPOUND BETWEEN THE PROPOSED CONCRETE PAVEMENT AND THE PROPOSED BUILDING.

DESIGN POINTS					
PT	NORTHING	EASTING	PT	NORTHING	EASTING
A	7099443.2351	2408110.0406	1	7097421.4849	2407856.7176
B	7097171.3363	2408126.1179	2	7097422.6570	2408191.3441
C	7097177.9320	2407837.4146	3	7097187.1485	2408168.4723
D	7097172.8513	2407875.8094	4	7097249.7748	2407915.0220

ITE TRIP GENERATION RATES											
PROPOSED LAND USE	ITE CODE	QUANTITY	UNIT OF MEASURE	WEDDAY	AM			PM			
					TOTAL	ENTER	EXIT	TOTAL	ENTER	EXIT	
MEDICAL OFFICE	720	12,110	SF	T=36,130(0)	T=2,300	70%	21%	T=3,450(0)	27%	73%	
					438	23	22	6	41	11	31
					T=89,050(0)	T=3,300(0)	55%	41%	T=6,450(0)	20%	50%
PHARMACY	650	1,655	SF	T=99,050(0)	T=140	3	3	T=14	7	7	
					140	3	3	2	14	7	7
					TOTAL	587	33	25	8	56	18

SOURCE: 6th EDITION, I.T.E. TRIP GENERATION MANUAL

PRELIMINARY PLANS
THIS DOCUMENT IS FOR INTERIM REVIEW AND IS NOT INTENDED FOR CONSTRUCTION, BIDDING OR PERMIT PURPOSES.
STEVEN R. HOMEYER, PE # 86942
DATE: 06/30/2014

HOMEYER ENGINEERING, INC.
TYPE FIRM REGISTRATION NO. PB4480
P.O. BOX 9988 DENVER, CO 80209
PHONE: 303-951-9987 FAX: 303-951-9987
WWW.HEI.US.CO

**CORNETH FAMILY MEDICINE AND
PEDIATRICS CENTER
LOT 1 BLOCK 1
PARKRIDGE PASS ADDITION
1.81 ACRES
CITY OF CORNETH
DENTON COUNTY, TEXAS**

SITE PLAN

DESIGNED BY: STEVEN R. HOMEYER, PE
CHECKED BY: STEVEN R. HOMEYER, PE
DATE: 06/30/14

DRAWN: MEB
DATE: 06/15/13
NEE #: 13-143

SHEET NO: C2